

## 2 Eastern Avenue and 90 Trinity Street - Official Plan Amendment and Zoning Application - Preliminary Report

<b>Date:</b>	August 7, 2007
<b>To:</b>	Toronto and East York Community Council
<b>From:</b>	Director, Community Planning, Toronto and East York District
<b>Wards:</b>	Ward 28 - Toronto Centre-Rosedale
<b>Reference Number:</b>	File No. 07 227124 STE 28 OZ

### SUMMARY

An Official Plan amendment and rezoning application to permit a mixed-use development in the form of a residential condominium building, six-storeys in height consisting of 45 residential units with retail at-grade level at 2 Eastern Avenue and 90 Trinity Street.

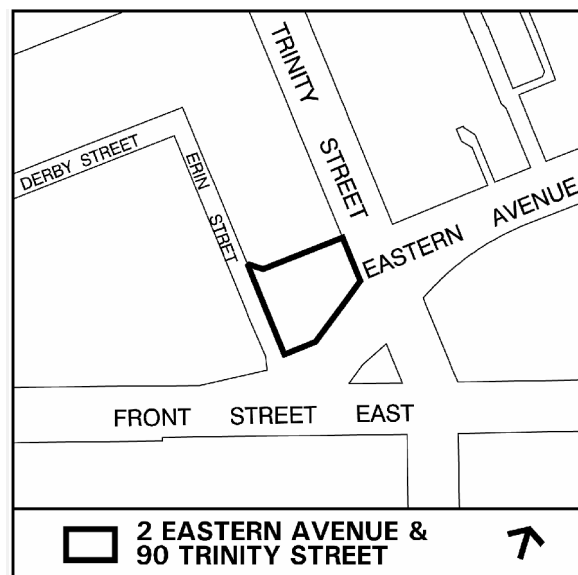
This application was made after January 1, 2007 and is subject to the new provisions of the Planning Act and the City of Toronto Act, 2006.

This report provides preliminary information on the above-noted application and seeks Community Council's direction on further processing of the application and on the community consultation process.

### RECOMMENDATIONS

**The City Planning Division recommends that:**

1. staff be directed to schedule a community consultation meeting together with the Ward Councillor; and
2. notice for the community



consultation meeting be given to landowners and residents within 120 metres of the site.

### **Financial Impact**

The recommendations in this report have no financial impact.

## **ISSUE BACKGROUND**

### **Proposal**

The applicant, Equilateral Investments Inc., is proposing to develop the property at 2 Eastern Avenue and 90 Trinity Street as a mixed-use building with 45 dwelling units with retail at-grade. The proposed unit breakdown is 4 bachelor units, 18 one-bedroom units, 11 one-bedroom plus den units and 12 two-bedroom units. The proposal provides a total of 22 parking spaces in the basement level and ground level, of which two parking spaces are proposed for a car-share program. Attachments 1 and 2 show the proposal's site plan and building elevations.

### **Site and Surrounding Area**

The lands are located on the north side of Eastern Avenue between Erin Street and Trinity Street, directly north of the traffic island that separates Eastern Avenue from Front Street (see page 1). The lands are irregular in shape and are approximately 0.11 hectares (0.28 acres) in area. It is also currently occupied by a commercial building (formerly the Downtown Kia car dealership). The balance of the site consists primarily of surface parking.

North of the site is a three-and-a half storey apartment building fronting Trinity Street with surface parking at the rear accessed from Erin Street. Further north are three-storey detached dwellings and Little Trinity Anglican Church.

On the east side of Trinity Street fronting Eastern Avenue are predominately two-storey attached dwellings except for the property at the northeast corner fronting Eastern Avenue which contains a two-storey office commercial building.

To the southeast of Eastern Avenue and Trinity Street there are two automobile sales establishments, presently under construction. Beyond these lands is the West Don Lands Precinct that is slated for mixed-use development. On the south side of Front Street is an existing automobile sales establishment with the Distillery District located beyond.

On the lands west of Erin Street is the 51 Division police station. An existing access to the police station vehicle compound approximately aligns with the proposed driveway entrance location for the proposed building.

For further statistical information refer to the Application Data Sheet found at Attachment 5 of this report.

## **Provincial Policy Statement and Provincial Plans**

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. The key objectives include: building strong communities; wise use and management of resources; and, protecting public health and safety. City Council's planning decisions are required to be consistent with the PPS.

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe including: directions for where and how to grow; the provision of infrastructure to support growth; and protecting natural systems and cultivating a culture of conservation. City Council's planning decisions are required to conform, or not conflict, with the Growth Plan for the Greater Golden Horseshoe.

Staff will review the proposed development for consistency with the PPS and for conformity with the Growth Plan for the Greater Golden Horseshoe.

## **Official Plan**

This application will be reviewed against the policies in the Official Plan including the policies set out in the King-Parliament Secondary Plan. Other important policies include those in the "Downtown", "Public Realm" and "Built Form" sections of the Plan.

The properties are located within the "Downtown and Central Waterfront" area on Map 2 - Urban Structure and are designated "Mixed-Use Area" on Map 18 - Land Use Plan. This designation permits a range of residential, commercial and institutional uses, and provides criteria to direct the form and quality of development.

The Plan provides a list of criteria which are intended to direct the design and orientation of new development proposals within the Mixed-Use Area designation. The proposed development will be evaluated with respect to the full list of criteria found in Section 4.5.2 of the Official Plan. The criteria include:

- locate and mass new buildings to provide a transition between areas of different development intensity and scale, as necessary to achieve the objectives of this Plan, through means such as providing appropriate setbacks and/or a stepping down of heights, particularly towards lower scale Neighbourhoods;
- locate and mass new buildings so as to adequately limit shadow impacts on adjacent Neighbourhoods, particularly during the spring and fall equinoxes;
- locate and mass new buildings to frame the edges of streets and parks with good proportion and maintain sunlight and comfortable wind conditions for pedestrians on adjacent streets, parks and open spaces;
- provide an attractive, comfortable and safe pedestrian environment;

- take advantage of nearby transit services;
- provide good site access and circulation and an adequate supply of parking for residents and visitors;
- locate and screen service areas, ramps and garbage storage to minimize the impact on adjacent streets and residences; and
- provide indoor and outdoor recreation space for building residents in every significant multi-unit residential development.

The Toronto Official Plan is available on the City's website at:  
[www.toronto.ca/planning/official\\_plan/introduction.htm](http://www.toronto.ca/planning/official_plan/introduction.htm)

### **King-Parliament Secondary Plan**

The proposed development is also subject to policies and principles contained within the Mixed-Use Area 'A' (Corktown) of the King-Parliament Secondary Plan. This section stipulates that a change of use on a lot from industrial or light industrial to residential or live/work uses alone or in combination is permitted, provided that the development meets certain criteria. Attachment 3 provides Map 15-1, Land Use Plan, from the Secondary Plan.

The proposed development will be evaluated with respect to the part of the criteria found in Section 9, sub-section 9.2 of the King-Parliament Secondary Plan. The criteria include:

- in the case of the erection and use of a new building, the building does not exceed the height limit;
- the proposal achieves a high quality living environment;
- in the case of new buildings, the design, massing and scale of the proposal is consistent with and reinforces the physical character of the area, including its heritage character; and
- the amount of parking and loading and their siting is satisfactory.

The King-Parliament Secondary Plan is available on the City's website at:  
[www.toronto.ca/planning/official\\_plan/pdf\\_secondary/15\\_king\\_parliament\\_june2006.pdf](http://www.toronto.ca/planning/official_plan/pdf_secondary/15_king_parliament_june2006.pdf)

### **Zoning**

Under the former City of Toronto Zoning By-law 438-86, as amended, the site is zoned I1 D3, an industrial zone, which permits a number of industrial uses, as well as other complementary non-residential uses, developed to a density of three times the area of the lot. Attachment 4 provides an excerpt of the zoning map for the site and immediate area.

The I1 zoning classification permits non-residential uses including parks, recreation, places of amusement, community services, cultural and arts facilities, day nurseries, general institutions, retail and service shops, workshops and studios, automobile related uses, warehousing and storage, industrial workshops, transportation, distribution and related uses, and manufacturing.

The applicant seeks to amend the existing zoning permissions to permit the mixed-use development.

### **Site Plan Control**

The proposed development is subject to site plan control. An application for site plan approval has been submitted and is being reviewed concurrently with this Official Plan Amendment and rezoning application.

### **Tree Preservation**

The applicant has provided an Arborist Report and declared there are no trees in respect to this development application, which meets the criteria outlined by the five categories of the Arborist Report for Development Applications (May 2005). The applicant is proposing to plant six trees, in the public right-of-way, adjacent to the site.

### **Reasons for the Application**

The applicant seeks to amend the Official Plan, particularly sub-section 9.2 of the King-Parliament Secondary Plan, because the proposed development exceeds the permitted height. The Mixed-Use Area 'A' (Corktown) stipulates that the erection and use of a new building is not to exceed the height limit.

In addition, the proposal does not comply with Zoning By-law 438-86, as amended. The proposed six-storey (23.5 metres to main roof line) mixed-use building exceeds the height permission of 12 metres and the proposed density of 3.87 exceeds a 3.0 limit (for industrial uses). The applicant is also seeking a 0.42 metre setback to the north property line, whereas the Zoning By-law requires a minimum setback of 3 metres to a lot within an R district.

Additional areas of non-compliance with the Zoning By-law may be identified through further review of the application.

## **COMMENTS**

### **Issues to be Resolved**

Prior to presenting a Final Report to Toronto and East York Community Council, the following issues, as well as other issues that may be identified by staff and the public, will need to be addressed:

- conformity with policies within the King-Parliament Secondary Plan;
- height, massing and density: The appropriateness of additional height above the By-law limit and fit with surrounding context will be reviewed by staff. Staff will examine with the applicant, whether the proposal should step down to the height of the neighbouring north building, and if other step backs are necessary at specific heights to reflect an angular plane;
- overlook and privacy: The location of the proposed units and the proposed roof top amenities space may create undesirable overlook and raise privacy concerns for neighbouring properties. Revisions to the plans or the implementation of privacy features in the building will be reviewed by staff;
- alternative treatment of the proposal's north blank wall façade: Blank walls are acceptable in some instances, where an adjacent property enjoys the same development opportunities and it is anticipated they will soon be exercised. That is not the case in this instance, and will be reviewed further by staff with the applicant;
- assessment of traffic, transportation, transit and site servicing impacts based on the submitted Traffic Impact Study prepared by Marshall Macklin Monaghan (March 2007);
- ensuring that there is sufficient residential and visitor parking (vehicular and bicycle);
- treatment of the ground floor of the building and its relationship to the streetscape;
- ability of the proposal to meet the intent and spirit of the Official Plan, Council policies and guidelines and other applicable planning policies including the Provincial Policy Statement, and to represent good planning and community building.

Staff will be encouraging the applicant to review sustainable development opportunities by utilizing the Toronto Green Development Standard, adopted by City Council in July 2006. The City's Green Development Standards are available on the City's website at: [www.toronto.ca/environment/greendevlopment.htm](http://www.toronto.ca/environment/greendevlopment.htm)

Additional issues may be identified through the review of the application, agency comments and the community consultation process.

## **CONTACT**

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## **SIGNATURE**

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Gary Wright, Director  
Community Planning, Toronto and East York District

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## **ATTACHMENTS**

Attachment 1: Site Plan

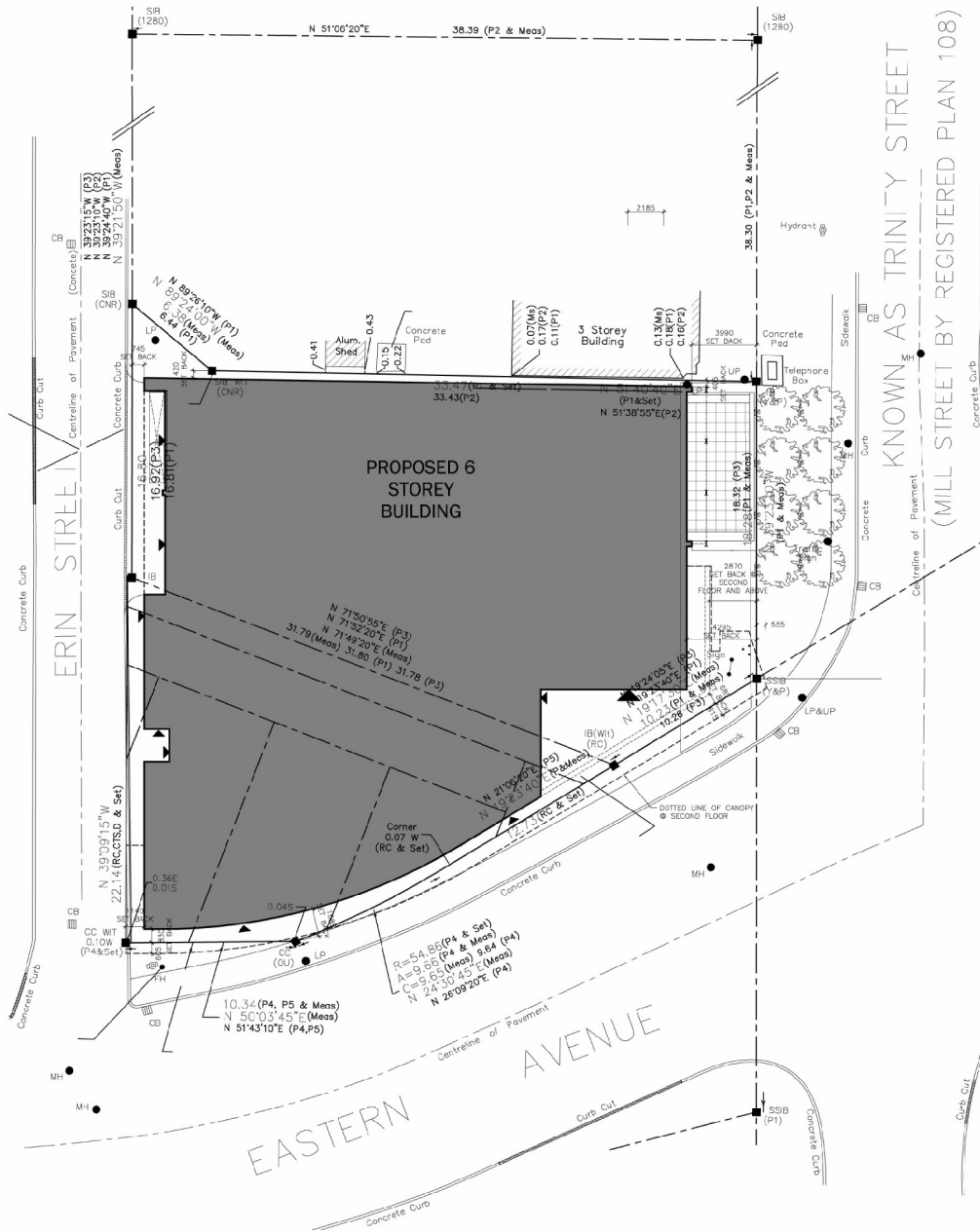
Attachment 2: Elevations

Attachment 3: King-Parliament Secondary Plan Excerpt

Attachment 4: Zoning By-law 438-86, as amended, Excerpt

Attachment 5: Application Data Sheet

## Attachment 1: Site Plan



### Site Plan

Applicant's Submitted Drawing

Not to Scale  
07/30/07

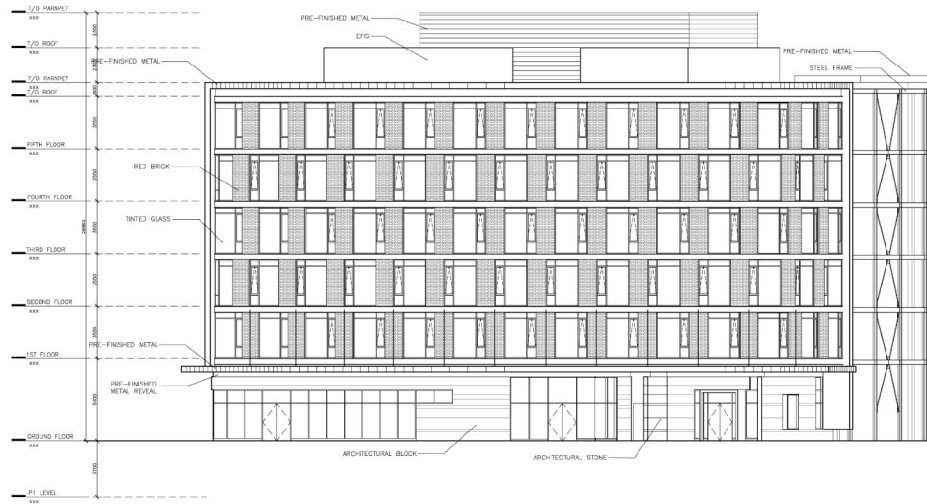


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90 Trinity Street

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## Attachment 2: Elevations



South Elevation



East Elevation

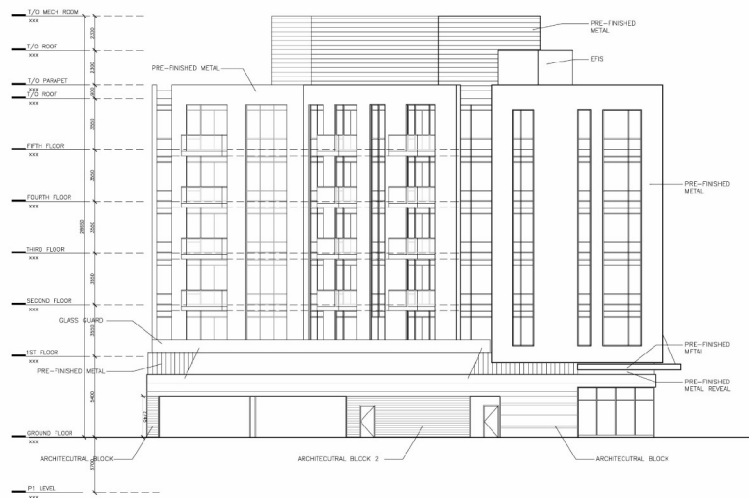
### Elevations

Applicant's Submitted Drawing

Not to Scale  
07/30/07

2 Eastern Avenue and  
90 Trinity Street

File # 07\_227124



**West Elevation**



**North Elevation**

## Elevations

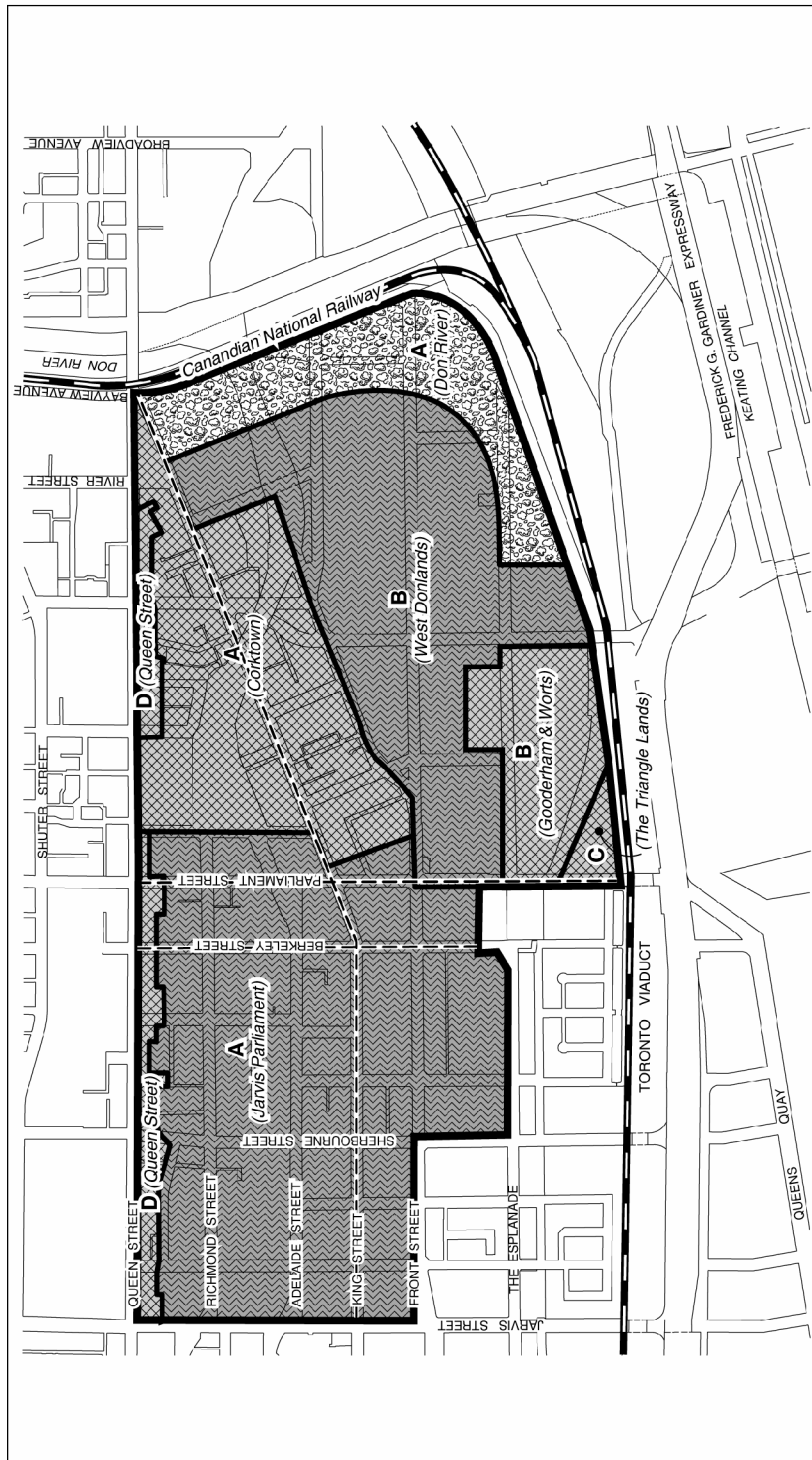
Applicant's Submitted Drawing

Not to Scale  
07/30/07

**2 Eastern Avenue and  
90 Trinity Street**

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## Attachment 3: King-Parliament Secondary Plan Excerpt



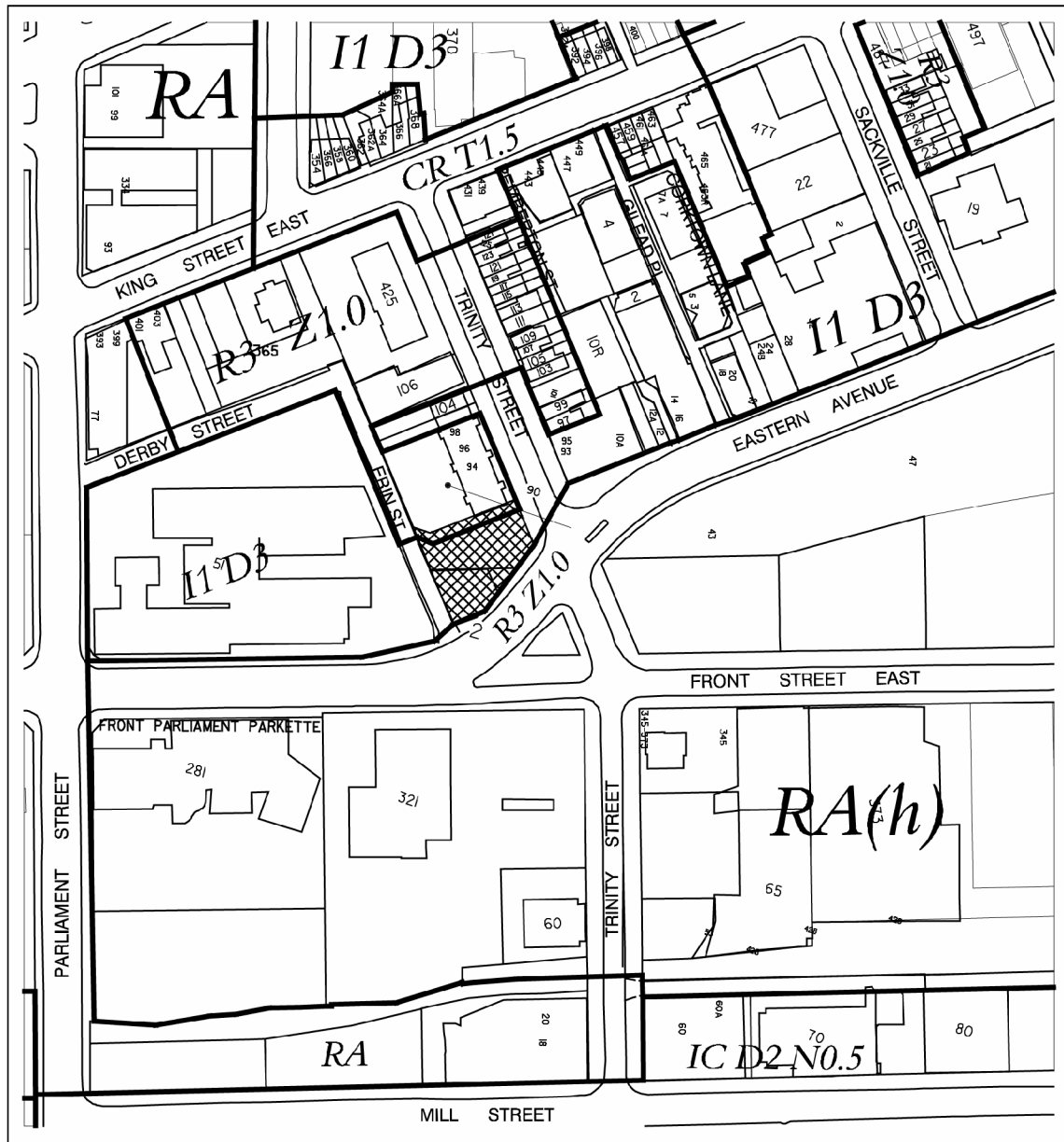
**Toronto** City Planning  
**King-Parliament Secondary Plan**  
**MAP 15-1 Land Use Plan**

**2 Eastern Avenue and  
 90 Trinity Street**

File # 07 227124



# Attachment 4: Zoning By-law 438-86, as amended, Excerpt



**TORONTO** City Planning  
Zoning

2 Eastern Avenue & 90 Trinity Street

File # 03\_123456

R3	Residential District	(h)	Holding District
CR	Mixed-Use District		
RA	Mixed-Use District		
I3	Industrial District		
IC	Industrial District		



Not to Scale  
Zoning By-law 438-86 as amended  
Extracted 07/30/07 - EM

## Attachment 5: Application Data Sheet

Application Type	Official Plan Amendment and Rezoning	Application Number:	07 227124 STE 28 OZ
		Application Date:	June 4, 2007
Municipal Address:	2 Eastern Ave, Toronto ON M5A 1H3		
Location Description:	Northwest corner of Trinity Street and Eastern Avenue.		
Project Description:	Proposed six-storey mixed-use building with 45 dwelling units, one retail unit at-grade and one level of underground parking.		
<b>Applicant:</b>	<b>Agent:</b>	<b>Architect:</b>	<b>Owner:</b>
Equilateral Investments Inc.	Walker, Nott, Dragicevic Associates Limited	Giannone Associates Architects Inc.	Goldero Properties (Eastern) Inc.

### PLANNING CONTROLS

Official Plan Designation:	CR (Mixed-Use Area)	Site Specific Provision:	N/A
Zoning:	I1 D3	Historical Status:	N/A
Height Limit (m):	12	Site Plan Control Area:	Yes

### PROJECT INFORMATION

Site Area (sq. m):	1134	Height:	Storeys:	6
Frontage (m):	18.30		Metres:	28.65
Depth (m):	38.30			
Total Ground Floor Area (sq. m):	926.30			<b>Total</b>
Total Residential GFA (sq. m):	4167.22		Parking Spaces:	22
Total Non-Residential GFA (sq. m):	220		Loading Docks	0
Total GFA (sq. m):	4387.22			
Lot Coverage Ratio (%):	81.7			
Floor Space Index:	3.87			

### DWELLING UNITS

### FLOOR AREA BREAKDOWN (upon project completion)

Tenure Type:	Condo		<b>Above Grade</b>	<b>Below Grade</b>
Rooms:	0	Residential GFA (sq. m):	4167.22	0
Bachelor:	4	Retail GFA (sq. m):	220	0
1 Bedroom:	29	Office GFA (sq. m):	0	0
2 Bedroom:	12	Industrial GFA (sq. m):	0	0
3 + Bedroom:	0	Institutional/Other GFA (sq. m):	0	0
Total Units:	45			

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