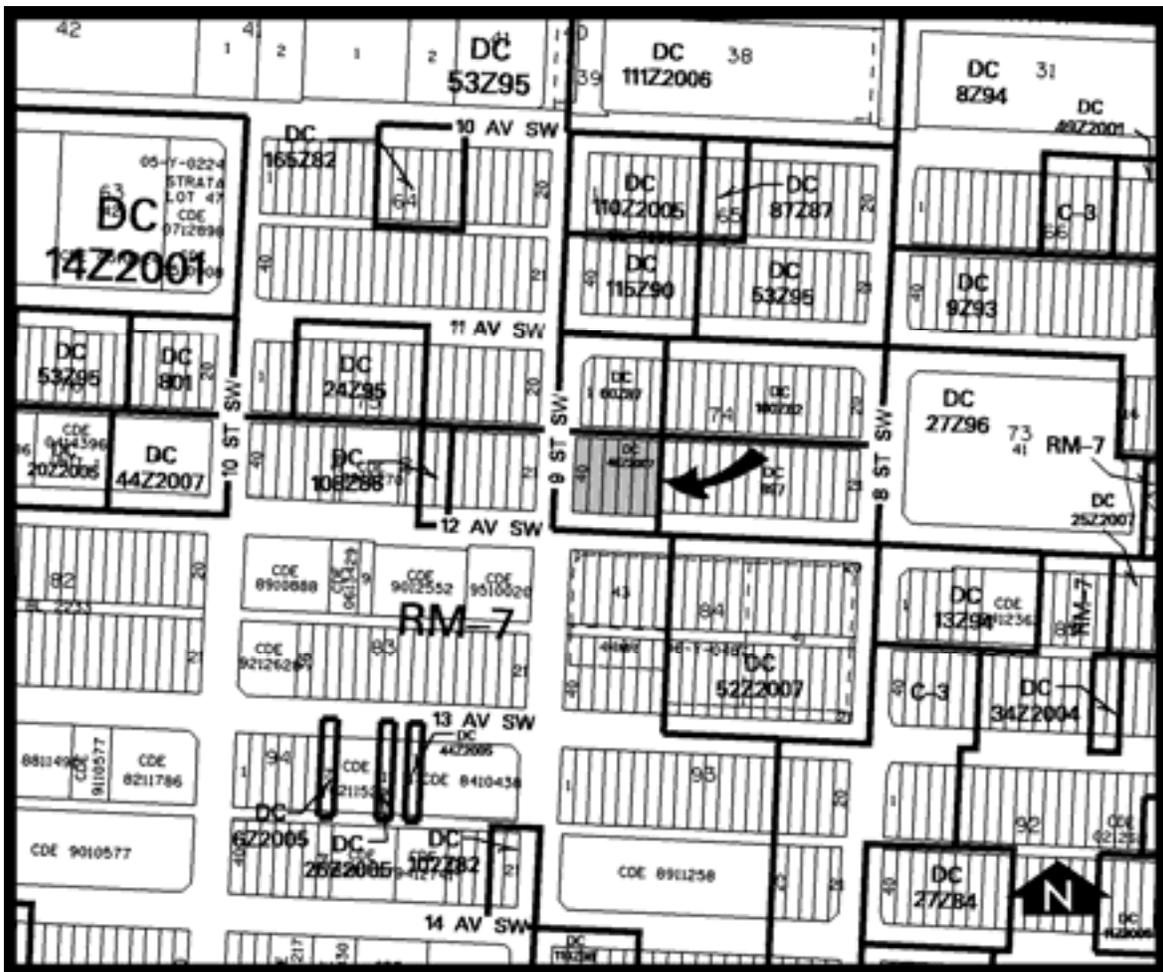


REPORT TO THE CALGARY PLANNING COMMISSION

DEVELOPMENT PERMIT	ITEM NO: 02	
	CPC DATE:	2007 October 18
	DP NO:	DP2007-1773

BELTLINE  
(Ward 8 - Alderman King)



PROPOSAL: Apartment Building (154 Units)

APPLICANT: Poon McKenzie Architects	OWNER: Intergulf-Cidex Development XII Corp.
MUNICIPAL ADDRESS: 936 and 940 – 12 Avenue SW and 1112 – 9 Street SW	LEGAL DESCRIPTION: Plan A1; Block 74; Lots 35 & 40 (Map 16C)
EXISTING LAND USE DISTRICT(S): DC Direct Control District (40Z2007)	
AREA OF SITE: 0.18 ha ± (0.45 ac ±)	
CURRENT DEVELOPMENT: Single detached dwelling, two 3 storey apartment buildings	

ADJACENT DEVELOPMENT:	
NORTH:	Surface Parking Lot, Office Building (Atco)
SOUTH:	Open Space (Dr. Carl Safran School Site)
EAST:	Office Building with at-grade commercial
WEST:	Small-scale commercial buildings, three storey apartment building

<b>DEVELOPMENT SUMMARY</b>			
<b>RULE</b>	<b>BYLAW STANDARD</b>	<b>PROPOSED</b>	<b>RELAXATION</b>
<b>DENSITY</b>	8.0 BASE FAR 12.0 FAR W/ BONUS	9.35 FAR	None
<b>FLOOR PLATE SIZE</b>	650 m2 maximum above 36 m	718.18 m2	+68.18m2
<b>HEIGHT</b>	Maximum podium height of 16 metres; no overall height limit	9.3 metres	None
<b>PARKING</b>	0.9 stalls + 0.15 Visitor parking stalls per unit (163 stalls required)	142 stalls plus 24 visitor parking stalls (166 stalls)	None

<b>DEVELOPMENT SUMMARY</b>			
<b>RULE</b>	<b>BYLAW STANDARD</b>	<b>PROPOSED</b>	<b>RELAXATION</b>
<b>LANDSCAPING</b>	30 per cent landscaping either at grade or on the podium (544.02 m2)	37.42 per cent (excluding bylawed setback on 12 Avenue SW (678.62 metres)	None

<p><b>EXTERIOR FINISH MATERIALS</b>  <b>Podium:</b> Coloured metal panels, sandblasted and painted concrete, clear glazing.  <b>Tower:</b> Coloured metal panels, sandblasted and painted concrete, clear glazing.  <b>Roof:</b> Coloured metal panels, green roofs at top of podium</p>
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## PLANNING EVALUATION

### Introduction

This Development Permit is for a 154 unit apartment building in the Beltline. The project is a single tower on a podium of street level townhouses, underground parking, and the proposed bonusing provided in accordance with the approved Direct Control Bylaw.

### Site Context

The site is located at the Northeast corner of 12 Avenue and 9 Street SW. The area is characterized by a mix of three storey townhouses and low-rise apartment buildings, small-scale commercial uses contained within converted residential buildings, and high density office buildings. The adjacent property to the south, across 12 Avenue, is open space on the Dr. Carl Safran school site. The existing building on the school site is currently vacant.

To the west of the subject site, across 9 Street SW and one lot in, sits the two-storey commercial/residential Harvey Block building. The Harvey Block is currently in The City's inventory of potential heritage sites and is a good example of Edwardian Commercial style.

There was an existing single-detached house and two 3 storey apartment buildings on the subject properties, all of which have been recently been demolished.

### Land Use District

The Direct Control District for this site was approved by City Council in 2007 March (Bylaw 40Z2007). Contained within those guidelines were provisions for yards, building design, landscaping, and bonusing in accordance with the provisions as contained within the Beltline Area Redevelopment.

The overall density achieved is 9.35 FAR. The applicant has provided the following the bonus features approved by Council to achieve the additional 1.35 FAR:

Required under the Beltline ARP	Provided
Incorporation of sustainable building features that help to offset the increased development intensity and the demands it places on utilities and infrastructure. A maximum of 1.0 FAR may be achieved.	Vegetated green roofs and renewable energy resource through green and reflective roofs and water efficient landscaping. Maximum 1.0 FAR earned. (Details provided in Appendix III)
Contribution to the Beltline Community Investment Fund (BCIF) to be utilized for projects within the Beltline related to public realm improvements as increased development intensity places increased demand on the public environment.	Value of ± \$173,118 provided for the project to achieve 0.35 FAR.

### Legislation & Policy

Development of this site is guided by the policies of the Beltline Area Redevelopment Plan (Approved by Council 2006 May). The application is contained within the Urban Mixed Use area of the Plan. Within this area, the policy calls for

- Vibrant pedestrian streets that provide activity throughout the daytime and evening hours;
- Streetscapes that respond to the context of the particular area, that have buildings that are built to and frame the sidewalk, and that have a high degree of permeability between interior and exterior space;
- To encourage and support residential uses above the street level, and, where appropriate to the local context, at street level; and
- To promote building forms that respect the local context and interfaces with adjacent properties, including consideration of visible facades, decks, roofs, access points, and balconies from various view points.

As well, the policy identifies key design initiatives for development, such as:

- New properties shall design the front setback treatment to compliment and integrate with the public realm treatment of sidewalks and boulevards;
- Building edges that are oriented toward a public right of way or park should be lined with uses that create activity and provide natural surveillance;
- The base of a building should be designed to create a human scaled street wall and establish a strong visual rhythm;
- The character of lower storey units within apartment buildings should be reinforced by providing easily identifiable units with individual front doors and windows relating directly to, and providing an overview of streets and pedestrian pathways;
- For buildings over 12 storeys in height the top floors are encouraged to use techniques such as creation of distinctive architectural or structural elements;

- Building bases are encouraged to use masonry or other durable materials and other architectural details that establish a strong visual rhythm with human scaled elements; and
- Use existing rear lanes where they are available and create shared service areas where feasible.

### **Site Layout & Building Design**

The project is a 24 storey, 154 unit apartment building with a podium based tower. The main entrance to the project is located along 9 Street SW.

The two storey podium contains street level townhouses on the main floor with individual entries and semi-private terraces. The terraces have been raised between two to four feet (depending on grade) above the sidewalk line to provide for a separation between the private area and the public realm. Concrete planter boxes with series of Swedish Columnar Aspen plantings along the front of the townhouses provide further delineation of the amenity areas for these units.

Each townhouse unit is articulated with well defined, contemporary, concrete-finished framing elements. The clear identification of individual units and the visual rhythm expressed by the frames is strongly supported. In addition to the two storey townhouses, single storey studio apartments are introduced on the second storey, with green roofs and common outdoor amenity areas completing the podium level. The rear of the project is used for loading, waste and recycling and access to the underground parkade. Also, four studio-style units with its private amenity spaces overlook the rear lane.

Floors 3 to 21 form the tower portion of the building with a floor plate of 718.29 m<sup>2</sup>. Floors 22 and 24 have recessed floor plates that house four penthouse units spanning two storeys to provide for larger liveable floor space. The top floor provides a recessed rooftop to accommodate the project's mechanical equipment. While the maximum tower floor plate exceeds the maximum residential floor plate of 650 m<sup>2</sup>, the Beltline ARP does provide for a maximum floor plate of 750 m<sup>2</sup> in the Urban Mixed-Use area where the impacts of shadow casting, tower separation and cumulative building mass have been satisfactorily mitigated. Situated on the southwest corner of the block, shadow casting impacts on the public realm are minimal. The construction of this project is proposed on the last developable site on the block with the exception of the surface parking lot located immediately north across the rear lane. The surface parking lot accommodates parking for the Atco Office Building immediately abutting the building. Given the site specific context, it is very unlikely that the proposed project will have significant impacts on the remaining build-out of the block.

The tower elevations are constructed of sandblasted and coloured concrete and clear glazing to complement the geometric concrete base of the project. A vertical architectural "fin" element has been included above the main entrance of the building on the west elevation of the building and runs the entire length of the tower. This feature provides visual interest and articulation as well as sun protection for the southwest facing units.

The application was circulated to the Urban Design Review Panel; their full comments are contained in APPENDIX III. The following is a summary of their comments for this application.

<b>Urban Design Review Panel Comment</b>	<b>Applicants Response</b>
The Panel recommends that the planter boxes on the perimeter of the building street level be constructed a high quality durable material, such as masonry or concrete and not stucco.	Coloured concrete to be utilized.
The Pane encourages the applicant to use concrete or other durable building materials; throughout the building rather than stucco.	Plans revised to indicate sandblasted concrete.

### **Landscaping**

Required landscaping for this development has been provided at grade as well as at each floor of the podium to meet the minimum 30 per cent landscaping requirement. Sustainable green roofs are located on floors 2 and 3 and rainwater harvesting cisterns will be utilized to reduce potable water consumption. At-grade landscaping along 9 Street SW and 12 Avenue SW is a combination of soft and hard landscaping including trees, shrubs, native grasses, sandblasted and coloured concrete. In particular, Brandon Elm trees line the edge of a generous pedestrian walkway along 12 Avenue SW. Concrete planters provided at-grade along 12 Avenue SW and 9 Street SW create a landscaped edge condition between the private amenity spaces and public thoroughfare.

### **Site Access & Traffic**

Vehicular, loading, and garbage access is all accessed off the rear lane for this project. A shared loading and garbage/recycling space are provided for the project.

### **Parking**

Parking has been provided on site at a rate of 0.9 stall per unit. Bicycle storage facilities have been provided at grade and within the building.

### **Site Servicing for Utilities**

The site can be serviced to city standards. The applicant is responsible for the cost of any required upgrading of services.

### **Environmental Site Assessment**

No concerns or issues arose as a result of its review.

### **Community Association Comments**

A letter of support was received from the Beltline Planning Group for this project (see APPENDIX II). They commented on the conformance to the Beltline policies. They also encouraged improvement of the rear lane elevation of the project.

**CONCLUSION:**

The proposal is supported for the following reasons:

1. The development meets the development goals of the Beltline Area Redevelopment Plan.
2. The project is compatible with adjacent development along 12 Avenue SW.
3. The podium level and its interface to the public realm has been designed to provide for visual interest and to enhance the pedestrian experience along 12 Avenue SW and 9 Street SW.

**CORPORATE PLANNING APPLICATIONS GROUP RECOMMENDATION: APPROVAL**

The Corporate Planning Applications Group recommends APPROVAL with the following conditions:

**Prior to Release Requirements**

If this development permit is approved, the following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority.

**Planning:**

1. Submit a total of six (6) complete sets of amended plans (file folded and collated) to the File Manager that comprehensively address the prior to decision issues of all Departments as specified below. In order to expedite the review of the amended plans, one plan set shall highlight all of the amendments. You may also address the prior to release issues at this time;
2. Revise the drawings to correctly indicate building separation distances between adjacent buildings and/or sites;
3. Revise the drawings to clearly label the proposed at-grade planter boxes and indicate its proposed building material;
4. Provide a clearance letter from ENMAX indicating that all conflict(s) identified by ENMAX have been resolved and is to the satisfaction of the Approving Authority;

**Urban Development:**

5. The developer shall remit payment for the Centre City Utility Levy, in the amount of \$181,900.00, to Urban Development .This off-site levy is for Community Recreation, Transportation, Parks Upgrading, Greenways and the construction, upgrading and replacement of water and sanitary sewer mains required for or impacted by the proposed development in the Centre City Area. The Utility Levy amount above is determined by using \$3,970 per meter of site frontage (on the avenues only) of the proposed development;

6. The developer shall consolidate the subject parcels onto a single title and provide a copy of the Certificate of Title;
7. The developer shall remit payment, in the form of a certified cheque, bank draft, or letter of credit. An estimate of the costs will be prepared by the City and provided to the applicant. The estimate will be prepared once the applicable comments relating to the Business Unit(s) noted below are resolved on the plans.

Calgary Roads

- a. Concrete lane paving;
  - b. Street light upgrading;
  - c. Construction of new curb & gutter and sidewalks to City standards;
  - c. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc. should it be deemed necessary through a site inspection by Calgary Roads personnel;
8. The developer shall execute Public Access Easement Agreement for the 2.134m bylawed setback and 4.5m x 4.5m corner cut to the satisfaction of the Manager of Urban Development;

9. Waste & Recycling Services

- a. Undersized waste / recycling storage location(s). Waste storage room minimum size to be 80m<sup>2</sup>;
- b. Lane paving is required. Collection will be adjacent to the lane because of insufficient vehicle access to loading area and overhead clearance will not allow dumping (6.4m req'd);
- c. Undersized waste / recycling collection vehicle access; and
- d. Redesignate loading area as loading/waste & recycling staging area.

Refer to Waste & Recycling Design Guidelines @ [Calgary.ca/waste](http://Calgary.ca/waste);

**Transportation:**

10. Dimension the lowest point on the initial ramp past the door. This shall be a minimum clearance height of 2100 mm. Ensure that the overhead clearance is dimensioned at the initial point where clearance is required, not down the ramp from this point;
11. Show the north edge of the lane on the site plan on DP101 to demonstrate that the sweep path of the truck does not encroach on the property to the north. Note: the delivery vehicle appears to conflict with the property line to the north. Ensure 0.6m clearance;
12. Relocate the class 2 bicycle parking within the PL of the site. Show the bike parking on the Site plan;
13. On the plans, clarify the location of the class one (enclosed) bike parking stalls;
14. Provide a parkade access protocol. There is a column shown on the parkade ramp but it is not labelled; is this a card reader or an intercom panel?;
15. The three stalls 27-29 on DP201 labelled as TANDEM PARKING do not appear to be tandem stalls. If they are mislabelled, correct this. Note: to eliminate confusion, the applicant may choose to remove references to TANDEM PARKING from the plans; and

**Parks:**

16. Provide a construction detail for the street tree grate.

**Permanent Conditions**

**Planning:**

1. The development shall be completed in its entirety, in accordance with the approved plans and conditions; any changes to the approved plans (including non-completion of the development) shall be submitted for approval to the Development Authority;
2. No changes to the approved plans shall take place unless authorized by the Development Authority;
3. A Development Completion Permit shall be applied for, and approval obtained, prior to any occupancy. Call the Development Field Inspection Group at 268-5311 to request that a Field Inspector conduct a site inspection and sign the Development Completion Permit;
4. Upon completion of the main floor subfloor, proof of the geodetic elevation of the constructed subfloor must be submitted to and approved by the Development Authority prior to any further construction proceeding;
5. All enclosed parking areas shall have walls and ceilings painted a white or light colour and have a lighting system to meet the average minimum lighting illumination of 54 LUX;
6. Parking areas shall be for the sole use of residents. Parking stalls shall not be sold or leased to the general public for the purpose of long stay parking in the downtown core;
7. If this development is to be condominiumized visitor parking stalls indicated on the approved plans shall remain as common property;
8. Any trees and shrubs indicated on the site plan which die after completion of the project must be replaced on a continuing basis with trees or shrubs of a comparable species and size;

**Urban Development:**

9. If during construction of the development, the applicant, the owner of the development, or any of their agents or contractors becomes aware of any contamination:
  - a. The person discovering such contamination shall forthwith report the contamination to Alberta Environment, the Calgary Health Region and The City of Calgary;
  - b. The applicant shall submit a current Phase II Environmental Site Assessment report to The City of Calgary; and
  - c. If required, the applicant shall submit a Remedial Action Plan and/or a Risk Management Plan to The City of Calgary.

- d. Prior to issuance of a Development Completion Permit, a letter from the qualified professional who prepared the Remedial Action Plan and/or a Risk Management Plan is to be issued to The City of Calgary in which the qualified professional certifies that the Remedial Action Plan and/or Risk Management Plan has been implemented.
  - e. All reports are to be prepared by a qualified professional and shall be to the satisfaction of The City of Calgary (Environmental Management);
10. The developer shall be responsible for the cost of public work adjacent to the site in City rights-of-way, as required by the Manager of Urban Development, including but not being limited to:
- a. Removal of any existing facilities not required for the new development (old driveways and redundant services, etc.);
  - b. Relocation of works (survey monuments and underground/overhead utilities, etc.);
  - c. Upgrading of works (road widening and watermain upgrading, etc.);
  - d. Construction of new works (lane, paving, sidewalks, curbs, etc.); and
  - e. Reconstruction of City facilities damaged during construction.

All work performed on public property shall be done in accordance with City standards and include, but not necessarily be limited to driveways, walks, curbs, gutters, paving, retaining walls, stairs, guard rails, street lighting, traffic signs and control devices, power and utility poles, electrical vaults, transformers, power lines, gas lines, communication lines, water lines, hydrants, sanitary lines, storm sewer lines, catch basins, manholes, valves, chambers, service connections, berms, swales, fencing and landscaping.

Every effort will be made to identify the cost of public works associated with this development in advance of work proceeding; however, in some cases, this will be impossible to predict. Where the actual cost exceeds the estimate, the developer shall pay the difference, upon receipt of notice, to The City;

11. Indemnity Agreements are required for any work to be undertaken adjacent to or within the City right-of-way or setback areas for purpose of shoring, tie-backs, piles, sidewalks, lane paving, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in City rights-of-way and setback areas must be removed to the satisfaction of the Manager of Urban Development, at the developer's expense, upon completion of foundation work;
12. The developer, and those under their control, shall develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking). Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control. The developer, or their representative, shall designate a person to inspect all controls and practices every seven days and within 24 hours of precipitation or snowfall events. Please refer to the current edition of The City of Calgary Guidelines for Erosion and Sediment Control for more information;

13. In accordance with the Encroachment Policy adopted by Council on June 24, 1996, and as amended on February 23, 1998, (retaining walls, planters, entry features, building projections) are not permitted to extend into the City right-of-way. New encroachments that are a result of this development are to be removed at the developer's expense, prior to issuance of a Development Completion Permit;
14. The developer shall submit an "As Constructed Grade Certificate" signed and sealed by a Professional Engineer, registered Architect, or a Professional Land Surveyor confirming that the development has been constructed in functional compliance with the Development Site Servicing Plan. Certification is to be completed within the timelines specified in the Lot Grading Bylaw 32M2004. Functional compliance is solely determined by the City to mean compliance with all City Bylaws, Standards, Specifications and Guidelines; and

**Parks:**

15. All tree planting in The City of Calgary boulevard is subject to Line Assignment approval from Engineering Services.

**Advisory Comments**

The following advisory comments are provided as a courtesy to the applicant and property owner. They represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval

**Planning:**

1. This development permit approval makes no provision for revisions. Revised plans shall be submitted to, and approved by, the Development Authority;
2. Any of the conditions of the development permit approval may be appealed. If you decide to file an appeal, it must be submitted to the Manager, Subdivision and Development Appeal Board (Plaza Level, Municipal Building, #8110) within 14 days of receipt of this letter;
3. All measures relating to handicapped accessibility in the design of this project shall be maintained and operable for the life of the building, including those which are required through the building permit process;
4. In addition to your Development Permit, you should be aware that a Building Permit is also required. Once your Development Permit application has been approved, you may apply for a Building Permit. Please contact Building Regulations at 268-5311 for further information;
5. All trees and shrubs indicated on the approved site plan to be retained shall be protected during all phases of construction. If any trees or shrubs die at any time either during construction or after, they must be replaced by trees or shrubs of comparable species and size to the satisfaction of the Development Authority;

**Urban Development:**

6. The developer is advised that the property line is 2.4 m from lip of gutter, 0.2 m from back of sidewalk on 12 Avenue SW;
7. The developer is advised that the property line is 4.0 m from lip of gutter, 0.3 m from back of sidewalk on 9 Street SW;
8. The developer is advised that the future lip of gutter is 3.76 m and future back of sidewalk is 0.0 m from ultimate property line on 12 Avenue SW;
9. The developer is advised that a bylaw setback of 2.134 m is required adjacent to 12 Avenue SW as per the Land Use Bylaw;
10. The developer is advised that a bylaw setback of 2.134 m is required adjacent to 9 Street SW as per the Land Use Bylaw;
11. The developer is advised that a corner cut of 4.5m x 4.5m is required adjacent to 12 Avenue and 9 Street SW;
12. The developer is advised that Calgary Roads is responsible for determining whether the existing sidewalks, driveway crossings, street lighting, curb and gutter, etc., are to City standards. Replacement and/or rehabilitation would be at the developer's expense;
13. Concrete lane paving is requested adjacent to the proposed site;
14. Loading areas and garage entrance at rear must tie in to the existing lane grades (grades are available from the Engineering Services Business Unit);
15. The developer is advised that boulevard grade differences between existing or ultimate curbs and existing or ultimate property lines are not to exceed 2%;
16. Water connection is available from 12 Avenue SW;
17. Show details of proposed changes to servicing and metering on Development Site Servicing Plan. Provide adequate water meter room where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter;
18. Show all proposed and existing shallow utilities on the Development Site Servicing Plan;
19. Maintain a 3.0m separation between power poles and/or trees with the proposed water service;
20. The developer is advised that the water service connection is to be constructed under an Indemnification Agreement;
21. Review with Fire Prevention Bureau for on-site hydrant coverage. A stamped approved plan by Fire Prevention Bureau to be submitted with the Development Site Servicing Plan for Building Permit approval. Contact FPB at 268-5378;
22. Existing water service to be killed by City Waterworks and a new service installed at developer's expense;
23. Each unit is to be individually metered;

24. The developer must apply for water and sewer connections as per City standards;
25. If further subdivision occurs in the future (including strata subdivisions), each titled parcel MUST have separate service connections to a public mains (water and sanitary);
26. It will be the responsibility of the developer to repair, at their expense, any damage to the adjacent public mains or mains in which they connect during the construction of the site as per the current Waterworks Specifications. The watermains are 90 years and older and although there has been minimum breaks during their life span, any disturbance during construction such as a new service connection or other alterations can cause breaks. Lead joints of old cast iron mains are very sensitive to ground movements;
27. Sanitary sewer connection is available from 12 Avenue SW;
28. Storm sewer connection is available from MAIN EXTENSION;
29. A Storm sewer extension is required at developer's expense;
30. Show all existing and proposed sewers on the development site servicing plans at the Building Permit stage;
31. Drainage from all underground or covered parking areas is to be directed towards the sanitary sewer system, as per Sewer Service Bylaw 24M96;
32. All open run-off shall drain to on-site storm sewer and covered ramp shall drain to sanitary sewer;
33. The allowable stormwater run-off coefficient shall be 30%;
34. Ponding is required for 1:100 year storm events;
35. Direct all roof drainage to on-site storm;
36. All building openings, ramps, etc., adjacent to trap lows are to be min, 0.3 meters higher than the maximum water elevation at the 1:100 year depth or depth of spill, whichever is greater;
37. Storm Redevelopment Fees will be required;
38. Contain storm run-off on site;
39. Controlled stormwater discharge required;
40. All on-site sewers are to be designed to City of Calgary specifications;
41. Fio drains are NOT permitted where a plumbing arrangement is such that it may introduce groundwater to a sanitary sewer system;

42. The developer must apply for a line assignment from Utility Line Assignments for tree planting in the City road right-of-way (boulevard). This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and five (5) landscape plans showing all of the following information:
- a. Property lines;
  - b. Curb/sidewalks;
  - c. Species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards);
  - d. Existing features (streetlight poles, hydrants, existing trees, utilities, etc.); and
  - e. Dimensions from property line to all of the above features.

Include the Development Permit number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to the Supervisor, Utility Line Assignments, 6<sup>th</sup> floor, 800 Macleod Trail SE, Calgary, Alberta T2P 2M5;

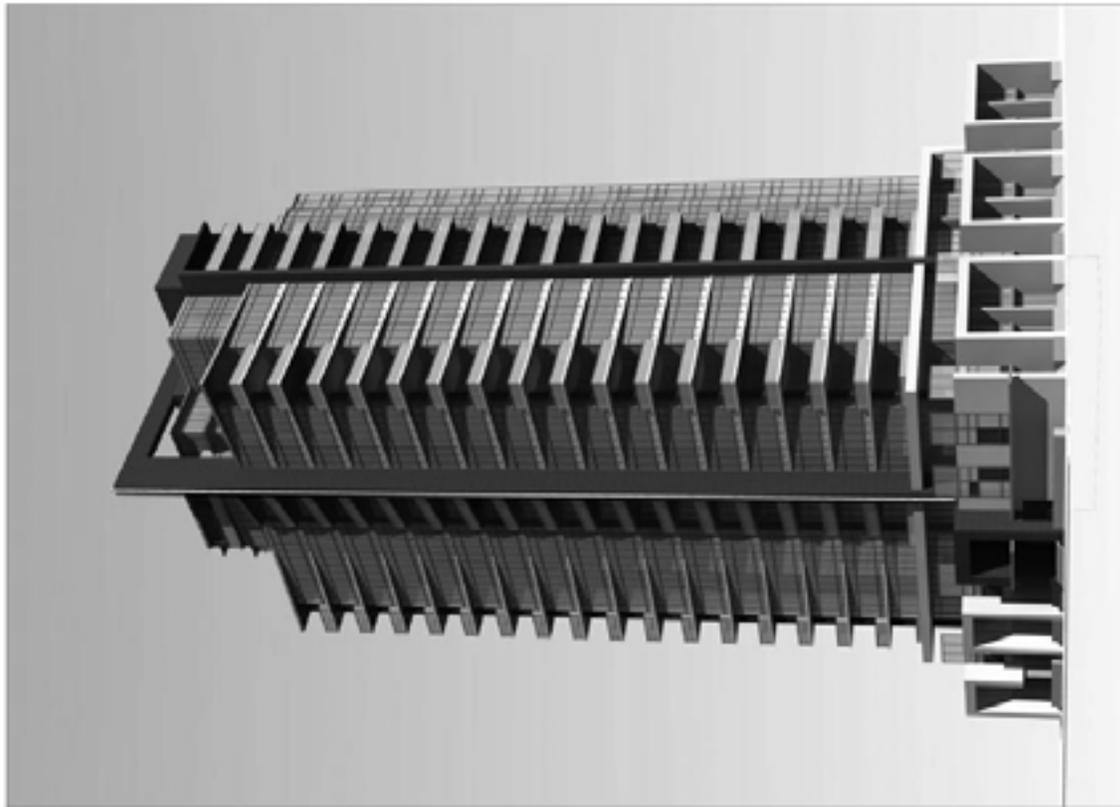
**Transportation:**

43. Wheelchair parking stalls should be located as close to elevators as possible to reduce the travel distance;
44. Transit, carpooling and active travel options should be encouraged and promoted to reduce the number of drive-alone trips generated to the site, reduce site parking demand and traffic on adjacent network roadways;
45. 2.134 m bylaw setbacks exist on 12 Avenue SW and 9 Street SW; and

**Fire:**

46. This building is currently addressed as 940 -12 Avenue S.W. but the principal entrance faces 9 street S.W. The address of the building should change to reflect the street that it faces as this is where emergency personnel will access the building.

Mona Ha  
2007 October



LIST OF DRAWINGS

- EP 00 COVER SHEET
- EP 101 SITE PLAN, SITE MAP, SITE PHOTOS & SITE INFO
- SC SITE LAYOUT
- 4114/101 SITE LAYOUT PLAN
- DTM 01 TOPOG DISTANCE, SHADOW STUDY, PODIUM DETAIL
- EP 102 GFA, FAR AND BONDING CALCULATION
- EP 100 LANDSCAPE PLAN LEVEL 1
- EP 101 LANDSCAPE PLAN LEVEL 2
- EP 102 LANDSCAPE PLAN LEVEL 3
- EP 201 LEVEL P4 PLAN
- EP 202 LEVEL P2 & P3 TYPICAL PLAN
- EP 203 LEVEL P1 PLAN
- EP 204 LEVEL P1 MEZZANINE
- EP 205 LEVEL 1 MAIN FLOOR PLAN
- EP 206 LEVEL 2 PLAN
- EP 207 LEVEL 3 PLAN
- EP 208 LEVEL 4 PLAN
- EP 209 LEVEL 5 TO 21 TYPICAL FLOOR PLAN
- EP 210 LEVEL 22 PENTHOUSE LOWER LEVEL PLAN
- EP 211 LEVEL 23 PENTHOUSE UPPER LEVEL PLAN
- EP 212 LEVEL 24 MECHANICAL PENTHOUSE PLAN
- EP 213 ROOF PLAN
- EP 301 SOUTH & EAST ELEVATIONS
- EP 302 NORTH & WEST ELEVATIONS
- EP 401 PARKADE RAMP SECTION
- EP 402 SITE SECTION
- EP 501 UNITS PLAN

CONSULTANTS

- ARCHITECTURAL**  
POON MOSENER ARCHITECTS  
SUITE 100, 2111 100 AVE. S.E.  
VANCOUVER, BC V6M 2K9  
PHONE: 604.276.9779  
FAX: 604.276.9773
- STRUCTURAL**  
Graham Skene Consulting Engineers  
100 West 5th Avenue  
Vancouver, BC V6B 1S6  
PHONE: 604.681.1100  
FAX: 604.681.1444
- LANDSCAPE**  
Landscape Architecture & Interiors  
100 West 5th Avenue  
Vancouver, BC V6B 1S6  
PHONE: 604.681.1100  
FAX: 604.681.1444
- CIVIL**  
McNeil Engineering Inc.  
100 West 5th Avenue  
Vancouver, BC V6B 1S6  
PHONE: 604.681.1100  
FAX: 604.681.1444

AURA TOWER

932 - 12 AVENUE S.W. / 940 - 12 AVENUE S.W. / 1112 - 9 STREET S.W.  
CALGARY, ALBERTA

for INTERGULF CIDEX  
DEVELOPMENT CORP.  
DEVELOPMENT PERMIT  
APPLICATION



MAY, 2007 JOB NO. 2006 - 090



**MVA ARCHITECTS**  
 1200 AVENUE 10  
 CALGARY, ALBERTA T2C 1P5  
 TEL: (403) 243-1111  
 FAX: (403) 243-1112  
 WWW.MVAARCHITECTS.COM

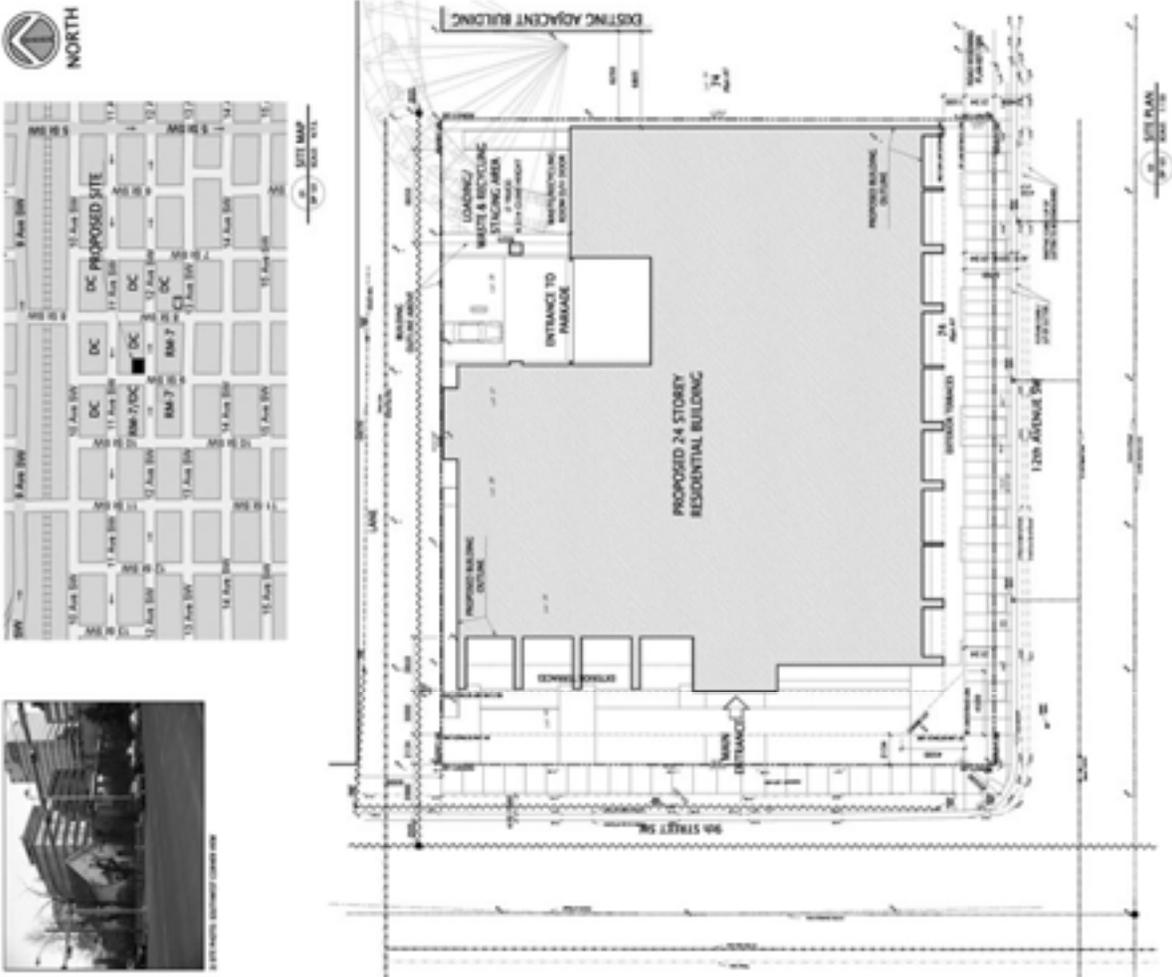
PROJECT NO.	1773
CLIENT	ALURA TOWER
DATE	2007.09.20
DRAWN BY	ALURA TOWER
CHECKED BY	ALURA TOWER
DATE	2007.09.20

**ALURA TOWER**  
 1200 AVENUE 10  
 CALGARY, ALBERTA  
 PROJECT NO. 1773

**SITE PLAN, SITE MAP,  
 SITE PHOTOS &  
 SITE INFO**

SCALE: 1:1000

**DP 101**



**NOTING TABLE - ADDITIONAL FIRE REVIEW**

NO.	DESCRIPTION	DATE	STATUS
1	REVIEW OF FIRE SAFETY PLAN	2007.09.20	PENDING
2	REVIEW OF FIRE SAFETY PLAN	2007.09.20	PENDING

**LEGAL DESCRIPTION**

ALL RIGHTS RESERVED BY THE ARCHITECT

NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

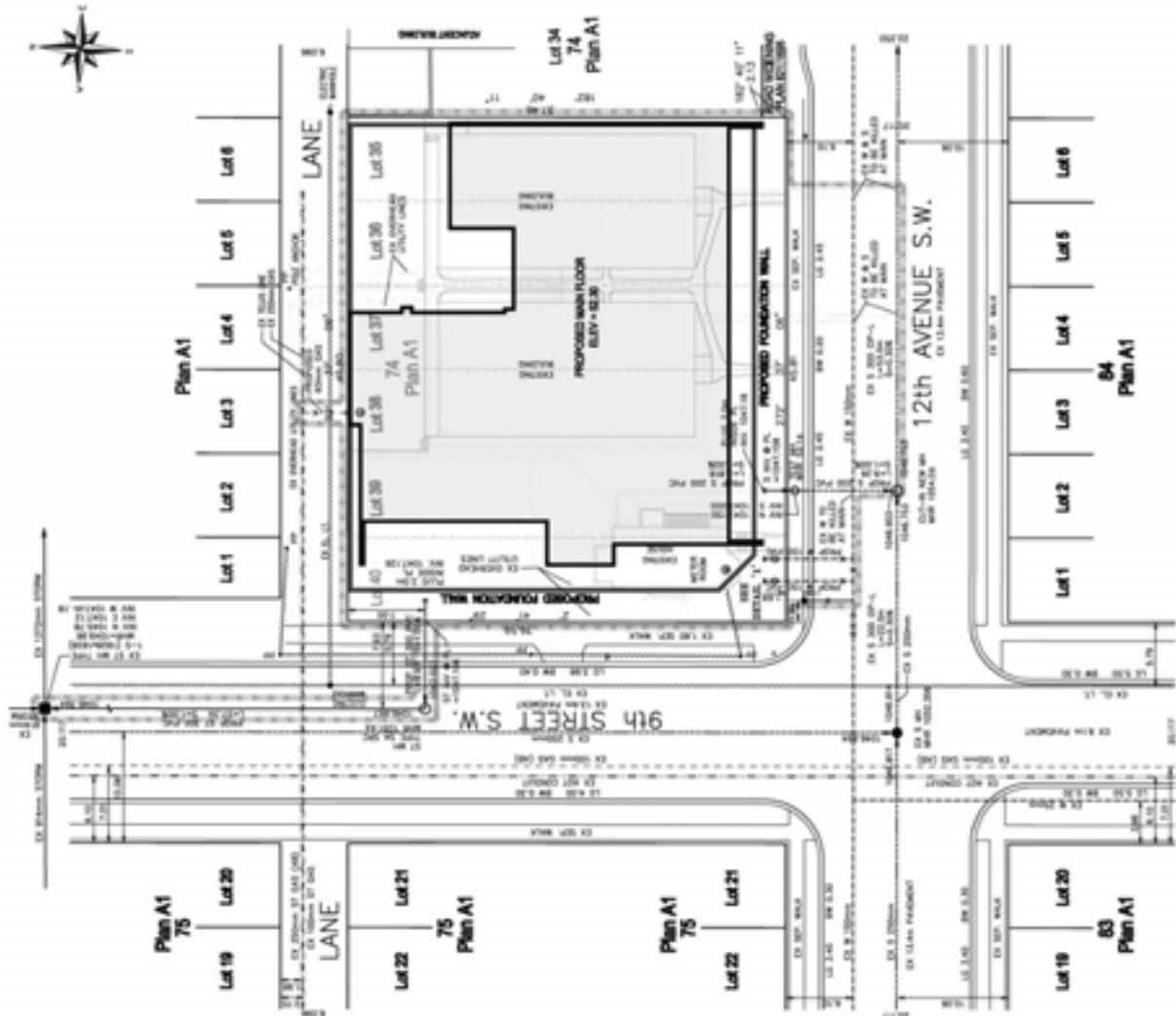
**SITE STATISTICS**

ITEM	AREA (SQ. M)	PERCENTAGE
TOTAL SITE AREA	10,000	100%
PROPOSED BUILDING AREA	2,500	25%
PARKING AREA	1,500	15%
LANDSCAPING AREA	500	5%
WALKWAYS	1,000	10%
UTILITIES	500	5%
OPEN SPACE	1,000	10%
ROADWAY	1,500	15%
TOTAL	10,000	100%

**PERMITS REQUIRED**

PERMIT TYPE	STATUS	DATE
BUILDING PERMIT	APPLIED FOR	2007.09.20
FIRE SAFETY PERMIT	PENDING REVIEW	2007.09.20
LANDSCAPING PERMIT	NOT REQUIRED	-
UTILITIES PERMIT	NOT REQUIRED	-





**NOTES:**

- 1.0 ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.
- 2.0 THE LAYOUT SHALL BE WITHIN THE BOUNDARY OF BALDWIN.
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**LEGEND:**

- EXTENDING WATER MAIN
- EXTENDING GAS MAIN
- EXTENDING STORM MAIN
- EXTENDING SANITARY MAIN
- EXTENDING WATER LANE
- PROPOSED WATER MAIN
- PROPOSED GAS MAIN
- PROPOSED STORM MAIN
- PROPOSED SANITARY MAIN
- PROPOSED WATER LANE
- PROPOSED GRADED TOP SURFACE
- PROPOSED STORM LANE
- PROPOSED WATER LANE
- CONSTRUCTION BOUNDARY
- PROPOSED BALDWIN

**SITE INFORMATION**

MUNICIPAL ADDRESS  
1001-99th Avenue, SW  
CALGARY, ALBERTA

DEVELOPMENT PERMIT NO.:  
DP2007-1773

**LEGAL SITE DESCRIPTION**

PLAN NO A1  
BLOCK 74  
LOT 36 TO 40

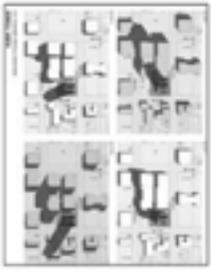
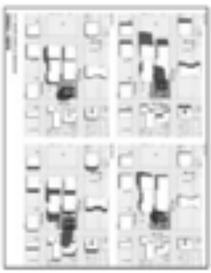
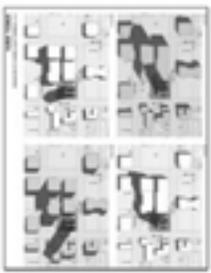
**AUMA TOWER**  
1001-99th Avenue, SW  
CALGARY, ALBERTA

**SITE SERVING PLAN**

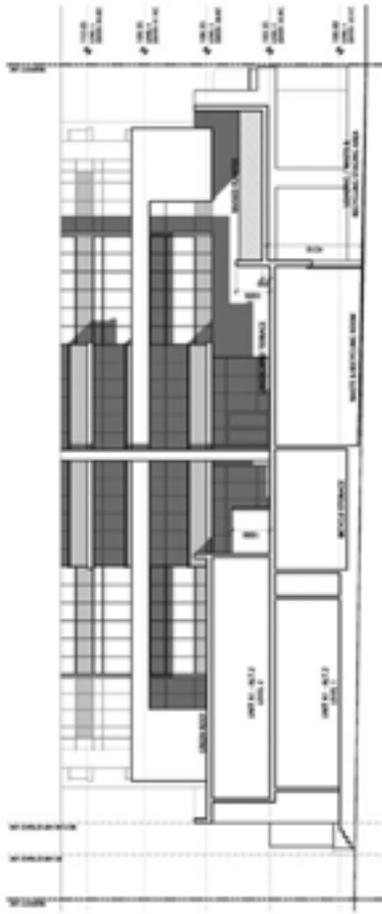
**4510C101**



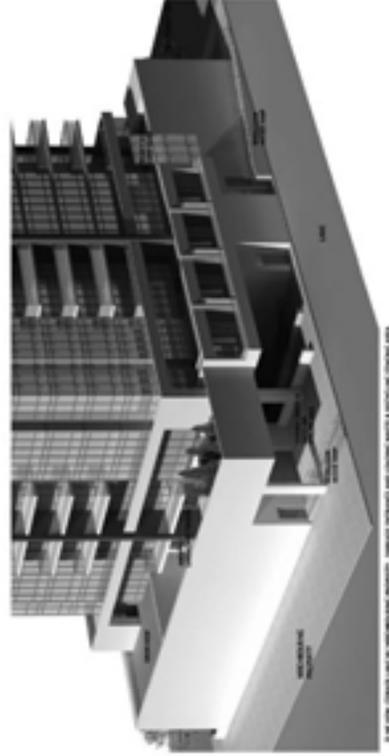
 <p><b>AURA ARCHITECTS</b> 1100 W. 10TH AVENUE, SUITE 100 DENVER, CO 80202 TEL: 303.733.1100 WWW.AURADENVER.COM</p>	<p>PROJECT NO. 2007-1773 SHEET NO. DTR1 01 DATE: 10/18/07</p>	<p><b>AURA TOWER</b> 12 AVENUE SW DENVER, CO 80202</p>	<p>TOWER DISTANCE SUSAN STUBBINS POODUM DETAIL</p>	<p>DTR1 01</p>



DETAIL 03 / 04 - SHOWER STUPO - MISSING IMAGE  
SCALE: 1/8" = 1'-0"



DETAIL 08 - EAST ELEVATION - LEVEL 2 AND 3 DETAILED ROOMS - LANDSCAPED TERRACE  
SCALE: 1/8" = 1'-0"



3D RENDER - EAST ELEVATION - RENDERING SOFTWARE: ARCHICAD 14.0.0.0 - RENDERING ENGINE: V-Ray 2.0.0.63



3D RENDER - WEST ELEVATION - RENDERING SOFTWARE: ARCHICAD 14.0.0.0 - RENDERING ENGINE: V-Ray 2.0.0.63



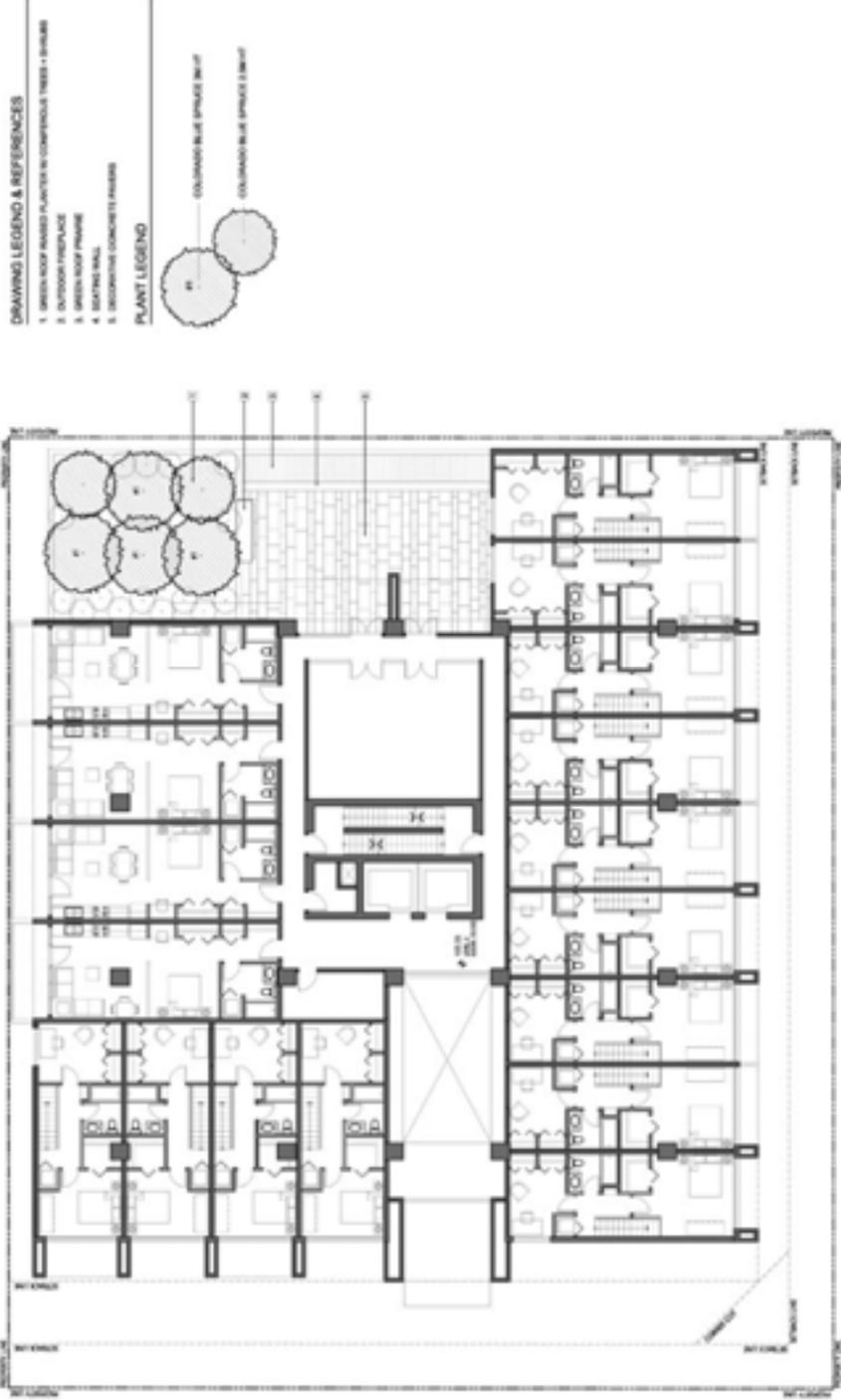
DETAIL 04 - SITE PLAN ON CONTEXT MAP - MINIMUM TOWER DISTANCE  
SCALE: 1/8" = 1'-0"

DETAIL 12 - POODUM DETAIL (W/ MATERIALS)  
SCALE: 1/8" = 1'-0"





 <p>DA ARCHITECTS 1000 15th Avenue SW, Suite 1000 Seattle, WA 98148 Tel: 206.461.1111 Fax: 206.461.1112 www.daarchitects.com</p>	 <p>SCALFIP + MILLER + BELL 1000 15th Avenue SW, Suite 1000 Seattle, WA 98148 Tel: 206.461.1111 Fax: 206.461.1112 www.smb.com</p>	<p>PROJECT: 1000 15th Avenue SW DATE: 10/18/07 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: AS SHOWN</p>	<p>ALBA TOMBE 1000 AVENUE SW SEATTLE, WA 98148 PHONE: 206.461.1111 WWW: WWW.ALBATOMBE.COM</p>	<p>LANDSCAPE PLAN LEVEL 2</p>	<p>DPL101</p>
		<p>DATE: 10/18/07</p>			



9th STREET SW

12th AVENUE SW

1. LEVEL 2 LANDSCAPE AMENITY TERRACE PLAN  
SCALE: 1/8" = 1'-0"

 <p><b>DA ARCHITECTS</b>        200 W. 12th Avenue, Suite 100        Denver, CO 80202        Phone: 303.733.1234        Fax: 303.733.1235        www.daarchitects.com</p>	<p>200 W. 12th Avenue, Suite 100        Denver, CO 80202        Phone: 303.733.1234        Fax: 303.733.1235        www.daarchitects.com</p>	<p><b>SCALFIP + MILLER + MURPHY</b>        1200 15th Street, Suite 100        Denver, CO 80202        Phone: 303.733.1234        Fax: 303.733.1235        www.scmfirm.com</p>	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>10/18/07</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>10/18/07</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>3</td> <td>10/18/07</td> <td>ISSUED FOR PERMIT</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	10/18/07	ISSUED FOR PERMIT	2	10/18/07	ISSUED FOR PERMIT	3	10/18/07	ISSUED FOR PERMIT	<p><b>ALBA TOMBE</b>        1200 15th Street, Suite 100        Denver, CO 80202        Phone: 303.733.1234        Fax: 303.733.1235        www.albatombe.com</p>	<p><b>LANDSCAPE PLAN</b>        LEVEL 3</p>	<p><b>DPL102</b></p>
				NO.	DATE	DESCRIPTION												
1	10/18/07	ISSUED FOR PERMIT																
2	10/18/07	ISSUED FOR PERMIT																
3	10/18/07	ISSUED FOR PERMIT																
<p>DATE: 10/18/07        DRAWN BY: [Name]        CHECKED BY: [Name]        APPROVED BY: [Name]</p>																		

**DRAWING LEGEND & REFERENCES**

- 1 GREEN ROOF PRIMARY - NOT PUBLIC ACCESS
- 2 ACCESS TERRACE BELOW



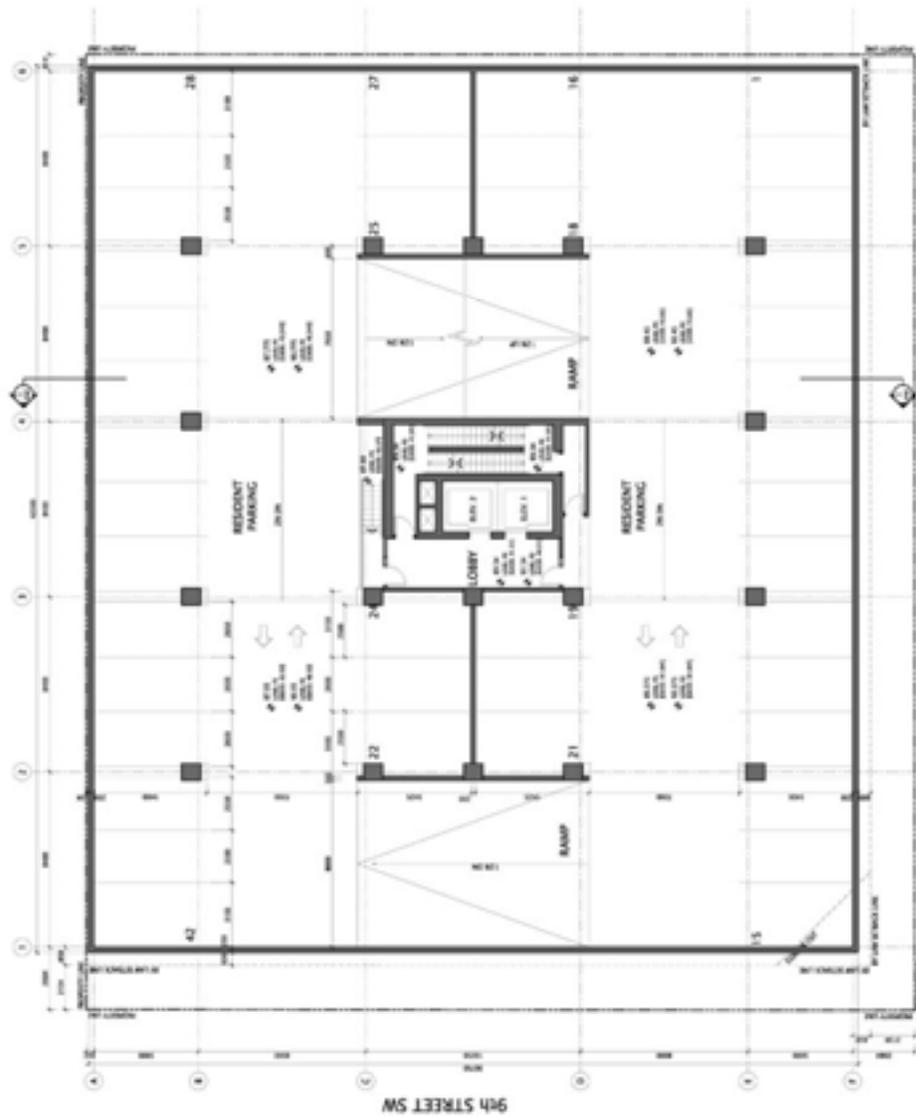
9th STREET SW

12th AVENUE SW

1. LEVEL 3 GREEN ROOF PLAN  
 SCALE: 1/8" = 1'-0"



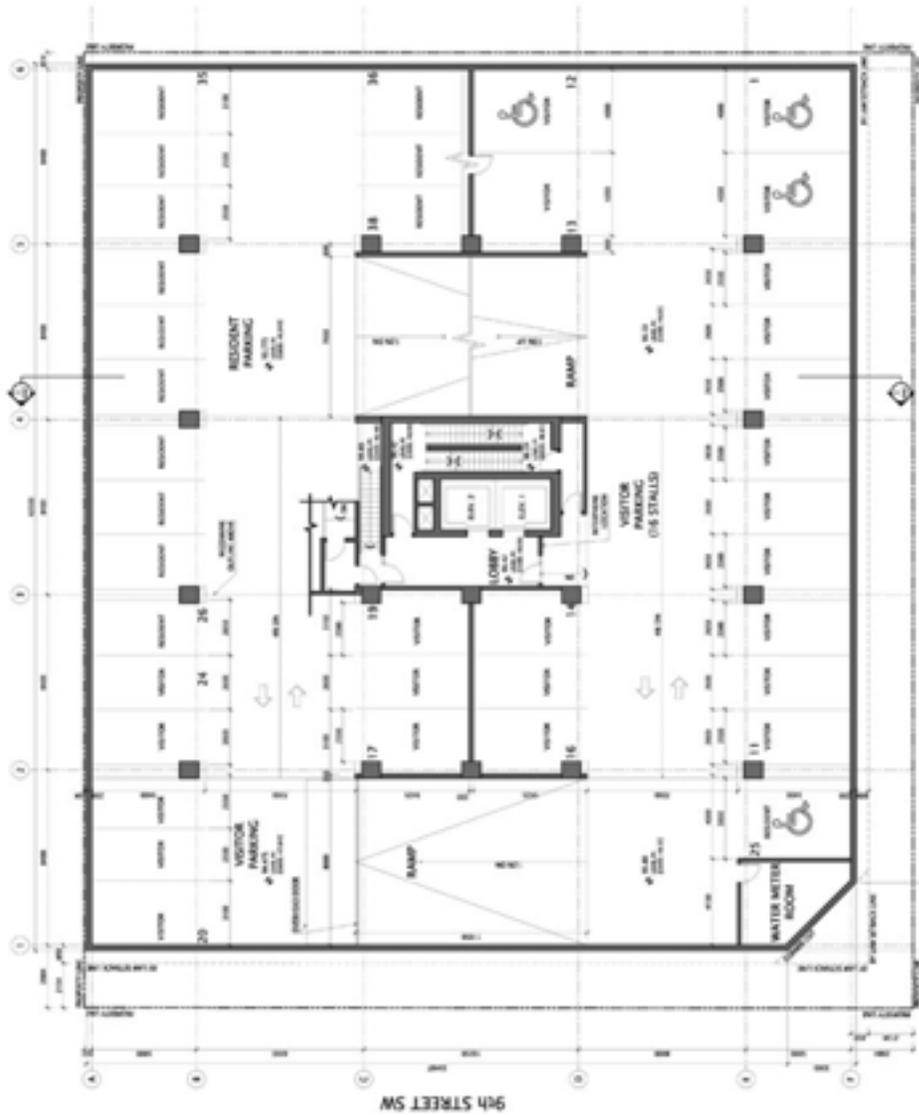
 <p>DA ARCHITECTS 1201 S. 12th Street, Suite 100 Tulsa, Oklahoma 74106 Phone: (918) 438-1234 Fax: (918) 438-1235 www.daarchitects.com</p>	<p>PROJECT: ALBIA TOWER 12th AVENUE SW TULSA, OKLAHOMA 74106 ARCHITECT: DA ARCHITECTS DATE: 10/18/07</p>	<p>ALBIA TOWER 12th AVENUE SW TULSA, OKLAHOMA 74106 ARCHITECT: DA ARCHITECTS DATE: 10/18/07</p>	<p>LEVEL P2 &amp; P3 TYPICAL PLAN</p>	<p>DP202</p>



12th AVENUE SW

LEVEL P2 & P3 TYPICAL PLAN - 1/8" = 1'-0"

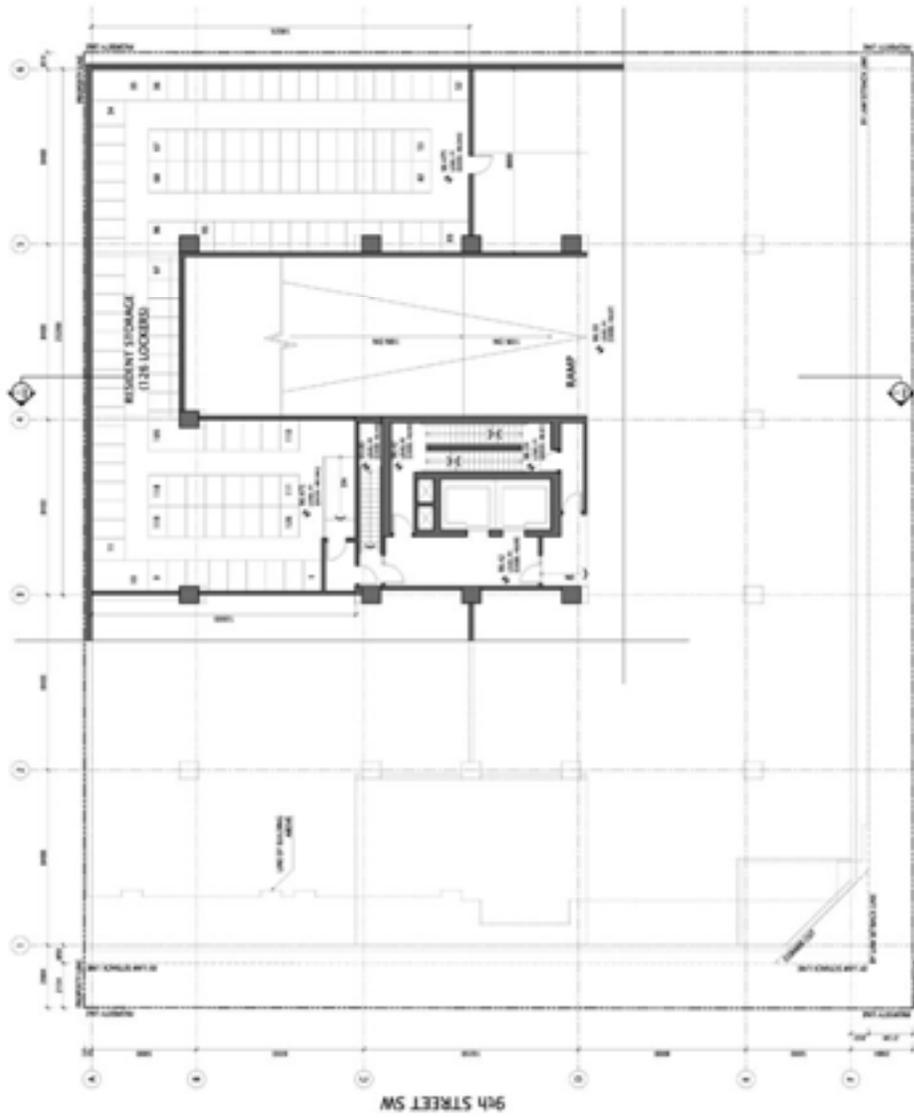
 <p>DA ARCHITECTS 1000 12th Avenue SW Suite 100 Seattle, WA 98144 Tel: 206.461.1234 Fax: 206.461.1235 www.daarchitects.com</p>	<p>PROJECT: ALBIA TOWER 12th AVENUE SW SEATTLE, WA 98144 ARCHITECT: DA ARCHITECTS DATE: 10/18/07</p>	<p>ALBIA TOWER 12th AVENUE SW SEATTLE, WA 98144 ARCHITECT: DA ARCHITECTS DATE: 10/18/07</p>	<p>LEVEL P1 PLAN</p>	<p>DP203</p>



12th AVENUE SW

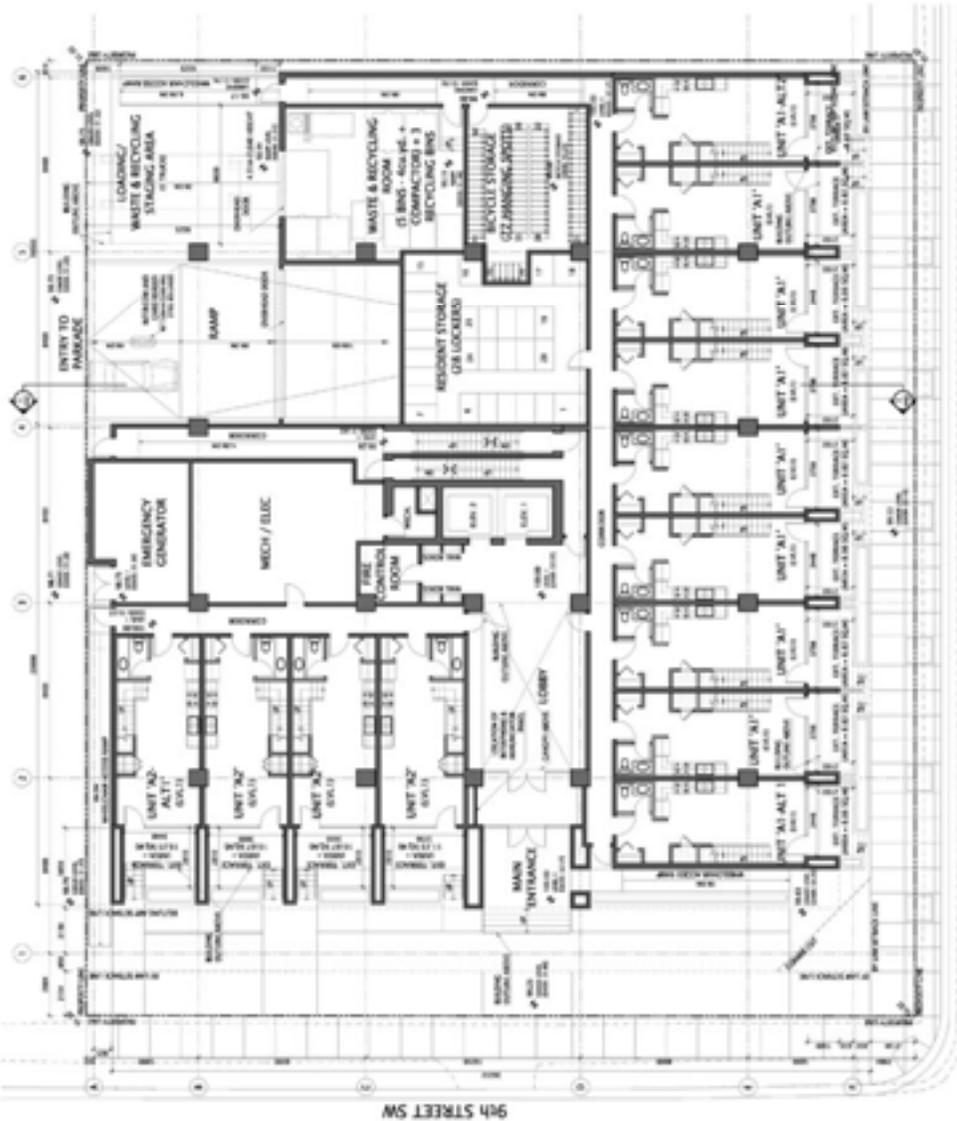
LEVEL P1 PLAN - 1,316.95 sq. ft.  
SCALE: 1/8" = 1'-0"

 <p><b>DA ARCHITECTS</b>          200 S. 10th Street, Suite 100          Minneapolis, MN 55402          Phone: 612.338.1111          Fax: 612.338.1112          www.daarchitects.com</p>	<p>PROJECT NO. DP2007-1773          SHEET NO. 010          DATE: 10/18/07</p>	<p>ALBA TORRES          120 AVENUE SW          SUITE 1000          MINNEAPOLIS, MN 55402          PHONE: 612.338.1111</p>	<table border="1"> <tr><td>DATE</td><td>10/18/07</td></tr> <tr><td>BY</td><td>DA</td></tr> <tr><td>CHECKED</td><td>DA</td></tr> <tr><td>SCALE</td><td>AS SHOWN</td></tr> </table>	DATE	10/18/07	BY	DA	CHECKED	DA	SCALE	AS SHOWN	<p>LEVEL P1 MEZZANINE</p>	<p>DP204</p>
				DATE	10/18/07								
BY	DA												
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SCALE	AS SHOWN												
<p>PROJECT NO. DP2007-1773          SHEET NO. 010          DATE: 10/18/07</p>													



12th AVENUE SW

LEVEL P1 MEZZANINE - 317.62 sfp  
 SCALE: 1/8" = 1'-0"



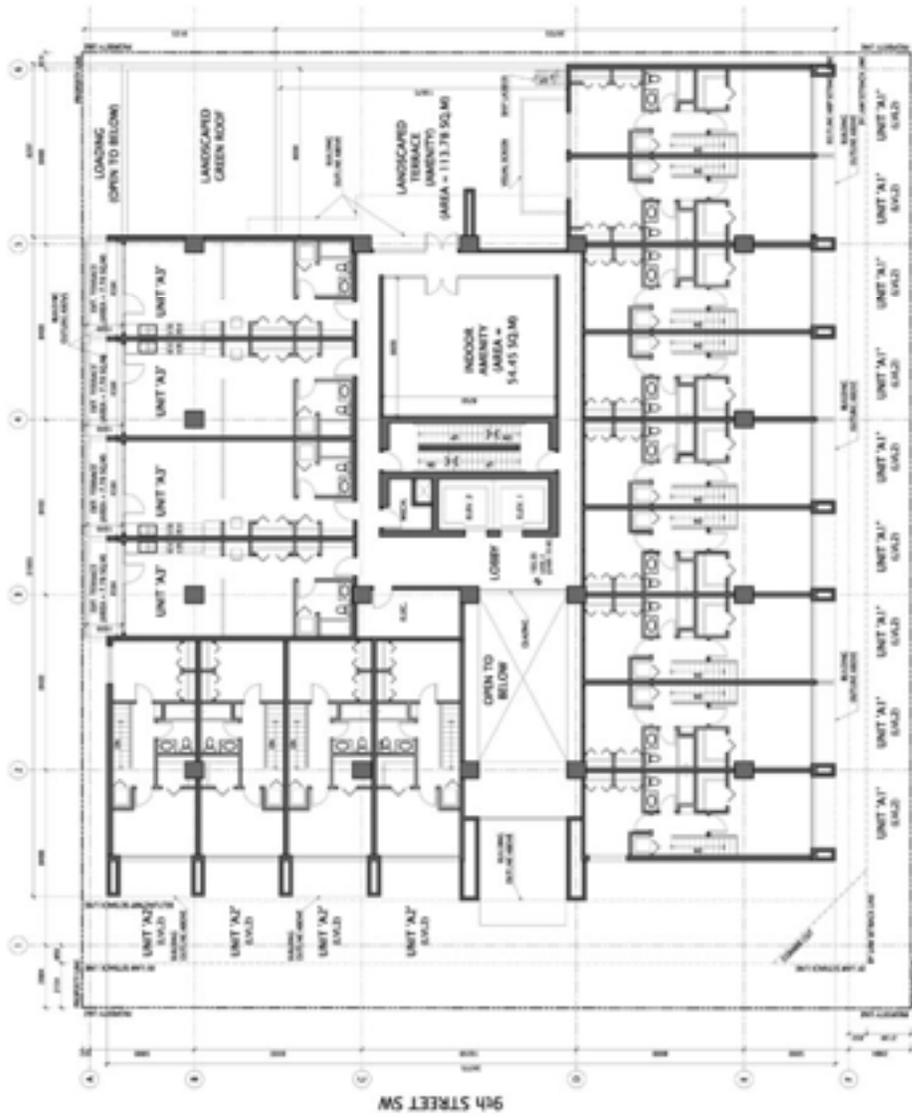
12th AVENUE SW

9th STREET SW

LEVEL 1 - MAIN FLOOR PLAN - 1,212.13 SF

 <p>DA ARCHITECTS 1000 10th Avenue SW, Suite 100 Calgary, Alberta T2C 1V1 Tel: (403) 243-1111 Fax: (403) 243-1112 www.daarchitects.com</p>	<p>DATE: 10/18/07 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: 1/8" = 1'-0"</p>	<p>PROJECT: [Name] SHEET NO: [Number]</p>	<p>ALBA TOMBE 1200 AVENUE SW CALGARY, ALBERTA T2C 1V1 PH: (403) 243-1111</p>	<p>NO. 100</p>	<p>NO. 101</p>	<p>NO. 102</p>	<p>NO. 103</p>	<p>NO. 104</p>	<p>NO. 105</p>
				<p>NO. 106</p>	<p>NO. 107</p>	<p>NO. 108</p>	<p>NO. 109</p>	<p>NO. 110</p>	
<p>LEVEL 1 MAIN FLOOR PLAN</p>				<p>DP205</p>					

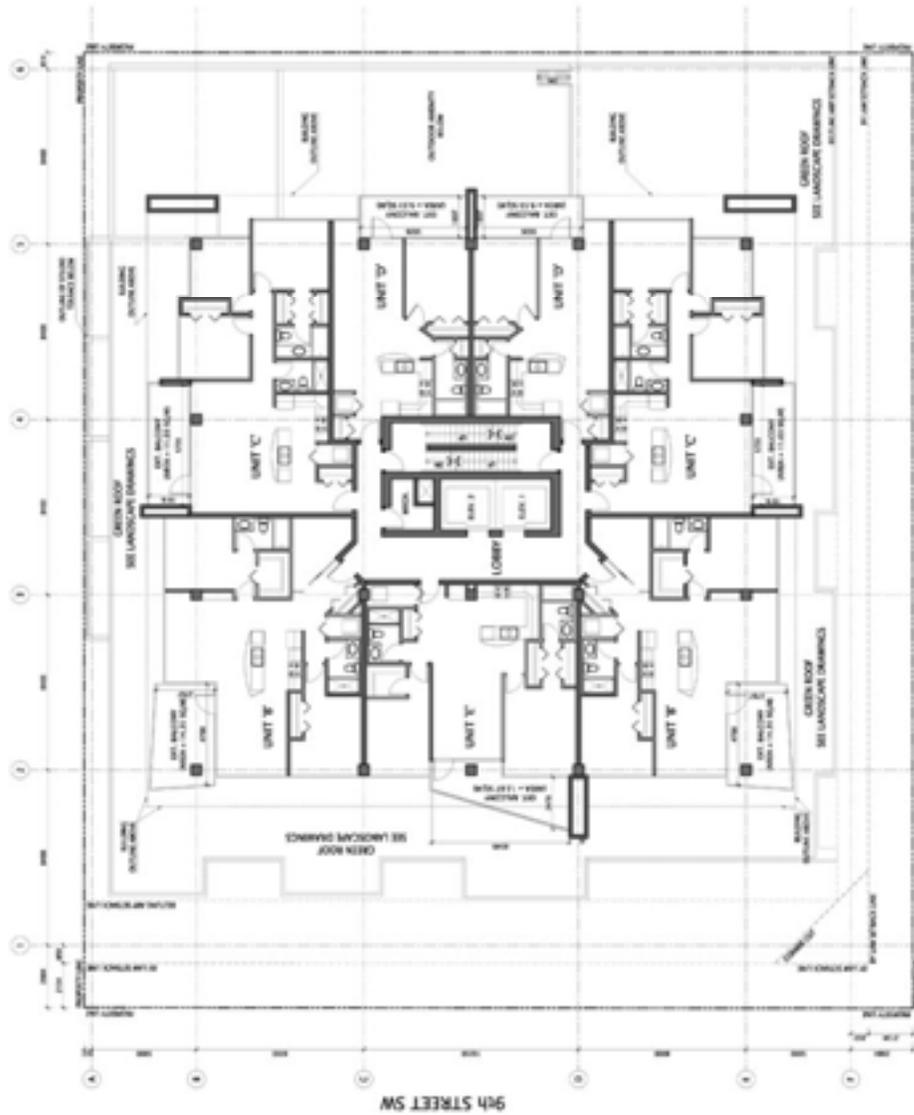
 <p><b>DA ARCHITECTS</b>        1000 12th Avenue SW, Suite 100        Seattle, WA 98144        Phone: (206) 467-1234        Fax: (206) 467-5678        Email: info@daarchitects.com        Website: www.daarchitects.com</p>	<p>PROJECT NO. DP2007-1773        SHEET NO. 101        DATE: 10/18/07</p>	<p>ALBA TOWER        12th Avenue SW        SEATTLE, WA 98144</p>	<p>LEVEL 2 PLAN</p>	<p>DP206</p>



12th AVENUE SW

1000 12th Ave. S. 101.3.01.07  
 SCALE: 1/8" = 1'-0"

 <p><b>DA ARCHITECTS</b>          100 N. 10TH STREET, SUITE 200          DENVER, CO 80202          TEL: 303.733.1111          FAX: 303.733.1112          WWW.DAARCHITECTS.COM</p>	<p>PROJECT NO. DP2007-1773          SHEET NO. 101          DATE: 10/18/07</p>	<p>ALBA TOWER          12th AVENUE SW          DENVER, CO 80202</p>	<p>DATE: 10/18/07</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>LEVEL 3 PLAN</p>	<p>DP207</p>
			<p>DESIGNED BY: DA ARCHITECTS</p>	<p>CHECKED BY: DA ARCHITECTS</p>	<p>DATE: 10/18/07</p>	



12th AVENUE SW

LEVEL 3 PLAN - 7,825 sq. ft.  
 SCALE: 1/8" = 1'-0"

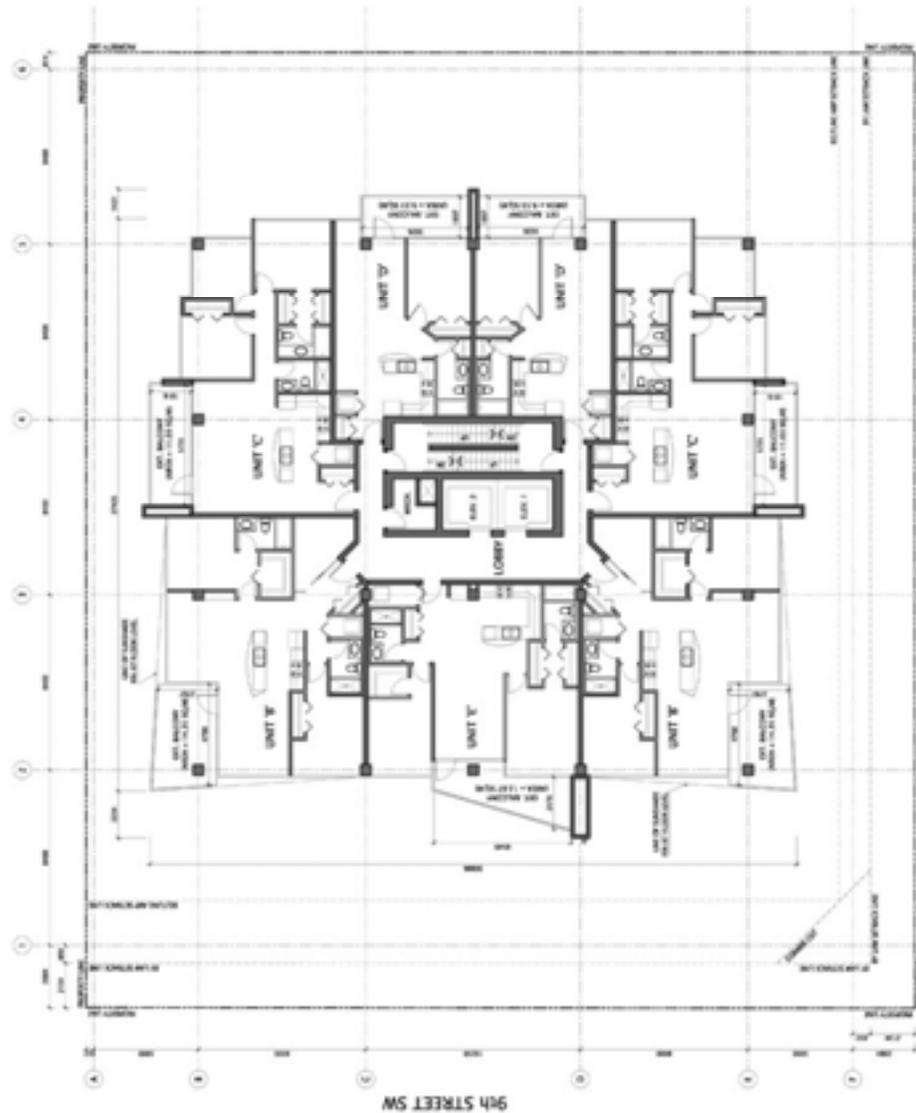
 <p><b>DA ARCHITECTS</b>        200 S.W. 10TH AVENUE, SUITE 200        MIAMI, FL 33130        TEL: 305.375.1234        FAX: 305.375.1235        WWW.DAARCHITECTS.COM</p>	<p>PROJECT NO. DP2007-1773        SHEET NO. 1773-01</p>	<p>DATE: 10/18/07</p>	<p>ALBA TORRES        1201 AVENUE SW        MIAMI, FL 33136        305.375.1234</p>	<p>DATE: 10/18/07</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>LEVEL 4 PLAN</p>	<p>DP208</p>
				<p>DATE: 10/18/07</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>LEVEL 4 PLAN</p>	



12th AVENUE SW

LEVEL 4 PLAN - 7,825 sq. ft.  
 SCALE: 1/8" = 1'-0"

 <p><b>DA ARCHITECTS</b>          200 S.W. 10TH AVENUE, SUITE 200          MIAMI, FL 33130          TEL: 305.375.1234          FAX: 305.375.1235          WWW.DAARCHITECTS.COM</p>	<p>PROJECT NO. DP2007-1773          SHEET NO. 18 OF 21          DATE: 10/18/07</p>	<p>ALBA TORRES          1201 AVENUE SW          MIAMI, FL 33136          305.375.1234</p>	<p>DATE: 10/18/07</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>LEVEL 5 TO 21          TYPICAL PLAN</p>	<p>DP209</p>
			<p>DATE: 10/18/07</p>	<p>SCALE: 1/8" = 1'-0"</p>		



12th AVENUE SW

LEVEL 5 TO 21 TYPICAL PLAN - 718.29 sq ft

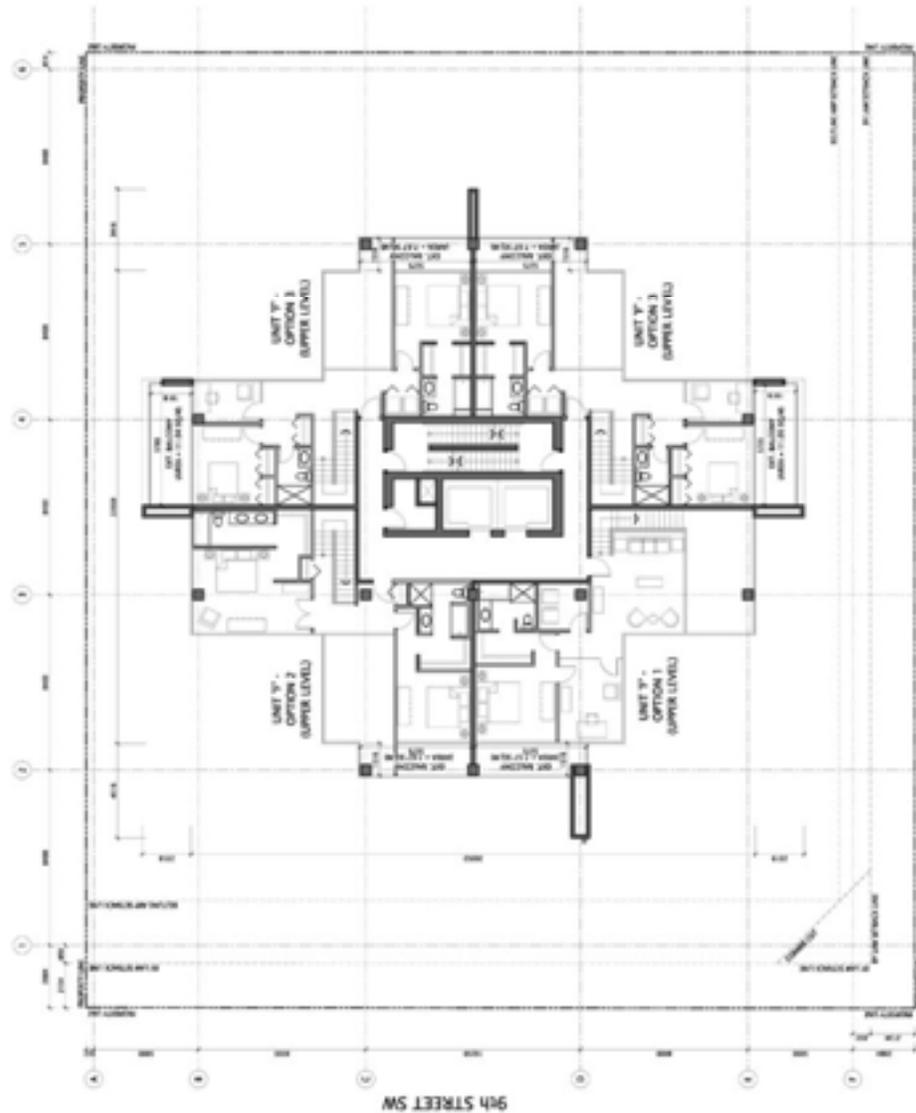
 <p><b>DA ARCHITECTS</b>        1000 W. 12th Street, Suite 100        Vancouver, BC V6Z 1Y1        Tel: 604.681.1111        Fax: 604.681.1112        www.daarchitects.com</p>	<p>PROJECT NO. DP2007-1773        SHEET NO. DP210        DATE: 10/18/07</p>	<p>ALBA TOMBE        12th Avenue SW        Vancouver, BC V6Z 1Y1        PROJECT CODE: 000000000000</p>	<p>DATE: 10/18/07</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>PROJECT: 12th Avenue SW</p>	<p>DATE: 10/18/07</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>PROJECT: 12th Avenue SW</p>
			<p>DATE: 10/18/07</p>	<p>SCALE: 1/8" = 1'-0"</p>	<p>PROJECT: 12th Avenue SW</p>			



12th AVENUE SW

LEVEL 22 - PENTHOUSE LOWER LEVEL PLAN - 315.24 sq' (Scale: 1/8" = 1'-0")

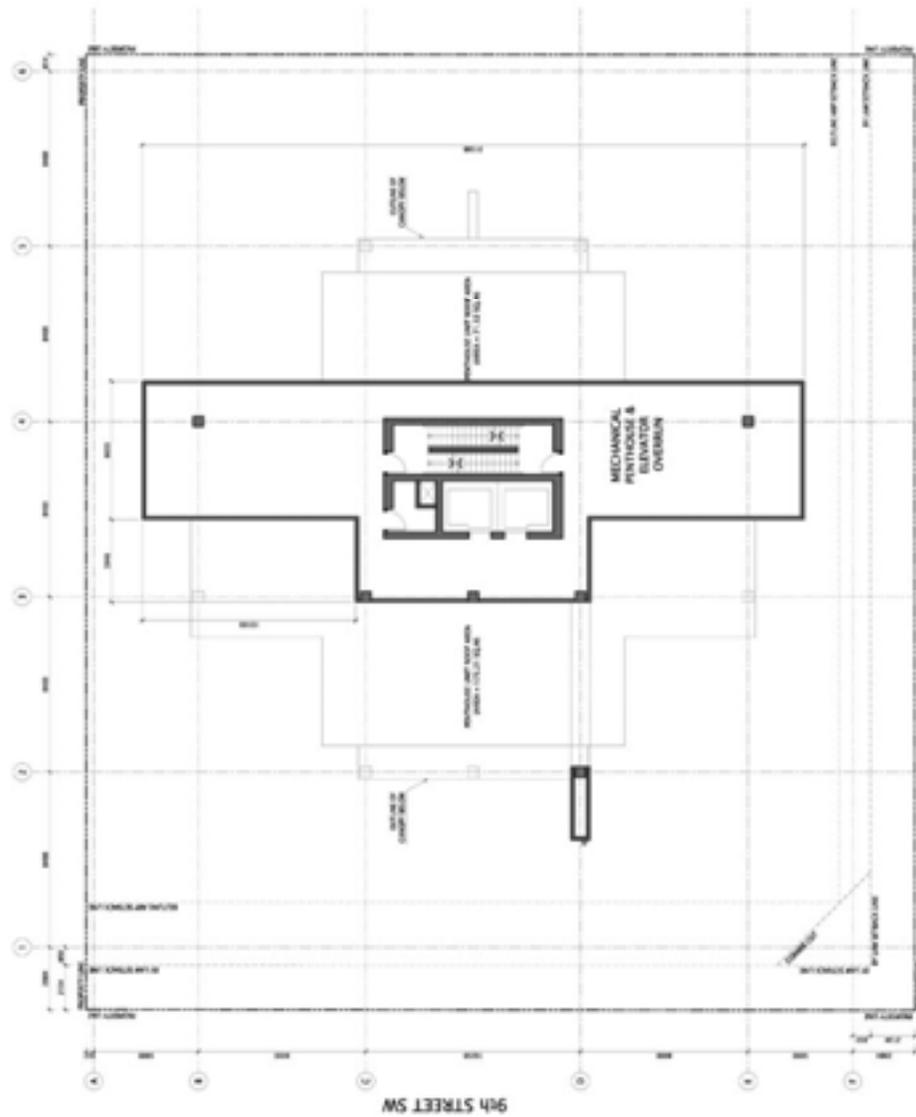
 <p><b>DA ARCHITECTS</b>          405 S. 10th Street, Suite 100          Minneapolis, MN 55404          Phone: 612.338.1111          Fax: 612.338.1112          www.daarchitects.com</p>	<p>PROJECT NO. DP2007-1773          SHEET NO. 485.01          DATE: 10/18/07</p>	<p>ALBA TOMBE          12th Avenue SW          Minneapolis, MN 55404          PROJECT CODE: 07-0000000000</p>	<table border="1"> <tr><td>DATE</td><td>10/18/07</td></tr> <tr><td>BY</td><td>DA</td></tr> <tr><td>CHECKED</td><td>DA</td></tr> <tr><td>SCALE</td><td>AS SHOWN</td></tr> </table>	DATE	10/18/07	BY	DA	CHECKED	DA	SCALE	AS SHOWN	<p>LEVEL 21          PENTHOUSE          UPPER LEVEL PLAN</p>	<p>DP211</p>
				DATE	10/18/07								
BY	DA												
CHECKED	DA												
SCALE	AS SHOWN												
<p>OWNER: ALBA TOMBE          ARCHITECT: DA ARCHITECTS          CONTRACT NO. 07-0000000000</p>													



12th AVENUE SW

485.01 - LEVEL 21 - PENTHOUSE UPPER LEVEL PLAN - 485.01.rvt

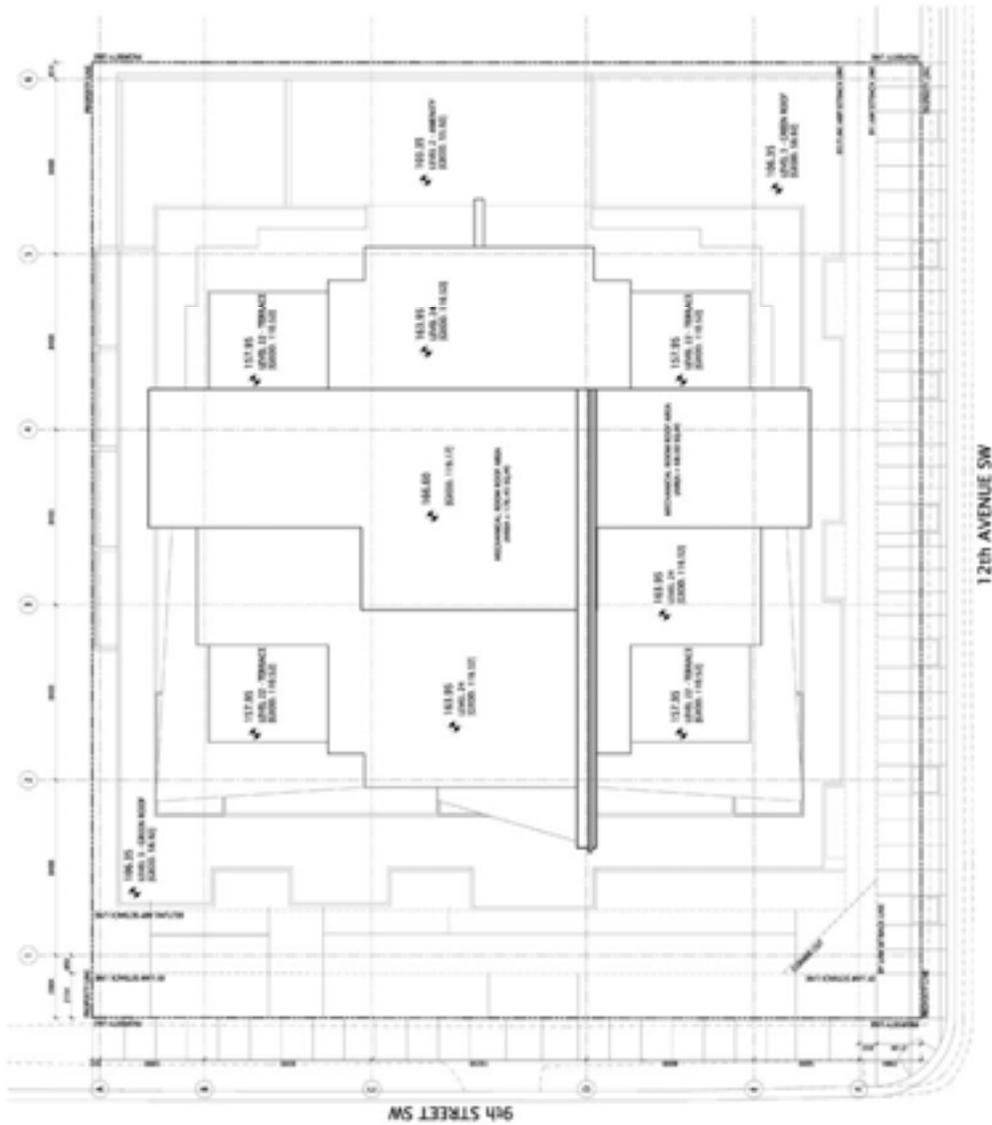
 <p><b>DA ARCHITECTS</b>        1000 15th Avenue SW        Suite 1000        Seattle, WA 98104        Phone: (206) 461-1000        Fax: (206) 461-1001        www.daarchitects.com</p>	<p>PROJECT NO. 07-001        SHEET NO. 21        DATE: 10/18/07</p>	<p>ALBA TOMBE        12th Avenue SW        Seattle, WA 98104        PROJECT: 07-001 (07-001) (07-001)</p>	<table border="1"> <tr> <td>DATE</td> <td>DESCRIPTION</td> </tr> <tr> <td>10/18/07</td> <td>ISSUED FOR PERMIT</td> </tr> </table>	DATE	DESCRIPTION	10/18/07	ISSUED FOR PERMIT	<p>LEVEL 24        MECHANICAL        PENTHOUSE PLAN</p>	<p>DP212</p>								
				DATE	DESCRIPTION												
10/18/07	ISSUED FOR PERMIT																
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<p>SCALE: 1/8" = 1'-0"</p>																	



12th AVENUE SW

LEVEL 24 - MECHANICAL PENTHOUSE PLAN - 212.87 sq. ft.

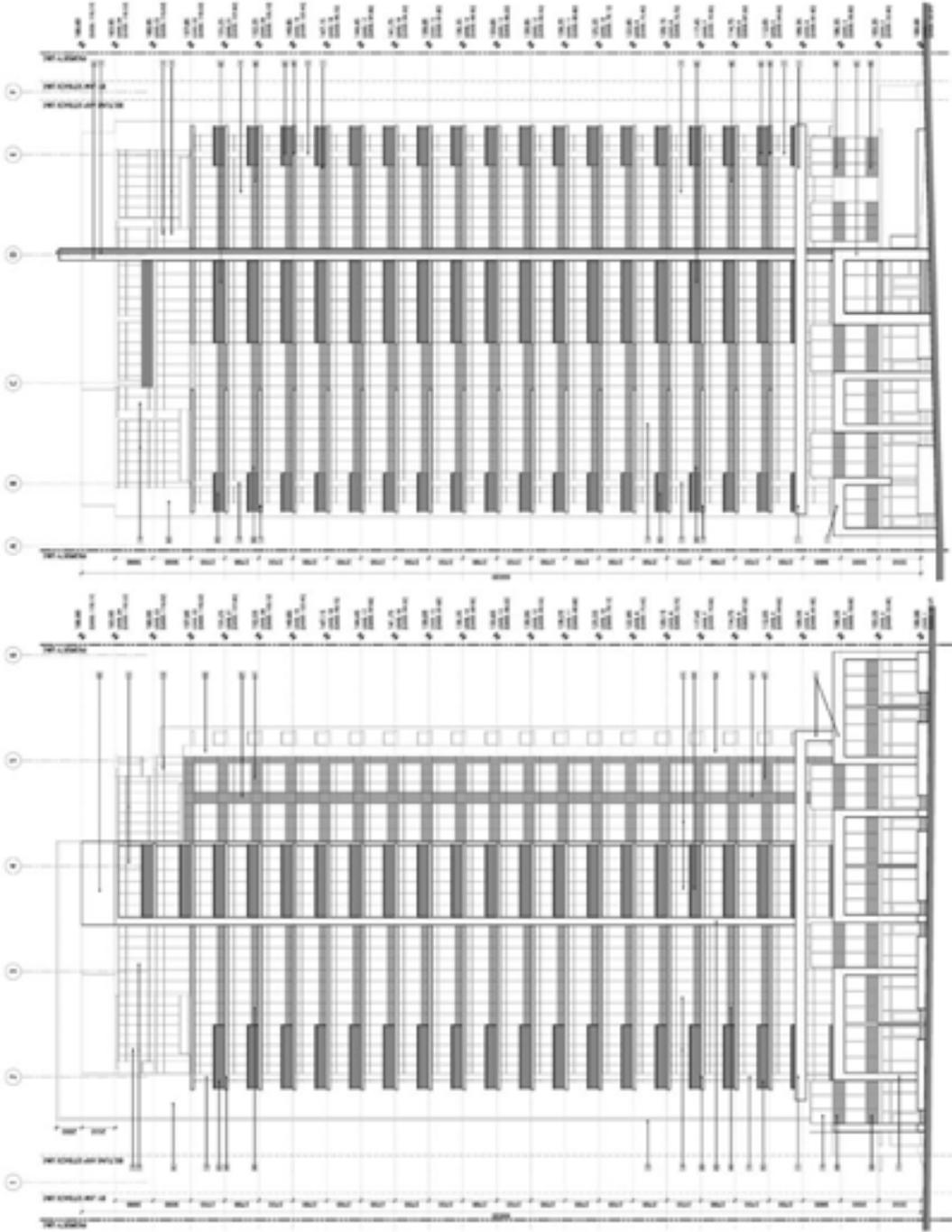
 <p>DA ARCHITECTS 100 S. 10TH AVENUE, SUITE 200 DENVER, CO 80202 TEL: 303.733.1111 WWW.DAARCHITECTS.COM</p>	<p>PROJECT: 12th AVENUE SW SHEET: 1001</p>	<p>ALBA TOMBE 12th AVENUE SW DENVER, CO 80202 TEL: 303.733.1111 WWW.DAARCHITECTS.COM</p>	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>10/18/07</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>10/25/07</td> <td>REVISIONS</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	10/18/07	ISSUED FOR PERMIT	2	10/25/07	REVISIONS	<p>ROOF PLAN</p>	<p>DP213</p>
				NO.	DATE	DESCRIPTION								
1	10/18/07	ISSUED FOR PERMIT												
2	10/25/07	REVISIONS												
<p>SCALE: 1/8" = 1'-0"</p>														



ROOF PLAN  
SCALE: 1/8" = 1'-0"

 <p><b>DA ARCHITECTS</b>          200 N. W. 10th Street          Suite 200          Miami, FL 33136          Tel: 305.375.1234          Fax: 305.375.1235          www.daarchitects.com</p>	<p>PROJECT NO. 07-1773          SHEET NO. DP301          DATE: 10/18/07</p>	<p>ALBA TOMBE          120 AVENUE SW          MIAMI, FL 33136          PROJECT CODE: 07-1773</p>	<p>DATE: 10/18/07          SCALE: AS SHOWN</p>	<p>PROJECT NO. 07-1773          SHEET NO. DP301          DATE: 10/18/07</p>	<p><b>SOUTH &amp; EAST ELEVATIONS</b></p>	<p><b>DP301</b></p>

- MATERIAL LEGEND**
- 1) BRICK, COMMON RED
  - 2) BRICK, GLAZED
  - 3) BRICK, DARK
  - 4) BRICK, LIGHT
  - 5) BRICK, WHITE
  - 6) BRICK, YELLOW
  - 7) BRICK, BROWN
  - 8) BRICK, BLACK
  - 9) BRICK, GREY
  - 10) BRICK, BLUE
  - 11) BRICK, GREEN
  - 12) BRICK, PURPLE
  - 13) BRICK, PINK
  - 14) BRICK, SILVER
  - 15) BRICK, GOLD
  - 16) BRICK, COPPER
  - 17) BRICK, ZINC
  - 18) BRICK, ALUMINUM
  - 19) BRICK, STAINLESS STEEL
  - 20) BRICK, TITANIUM
  - 21) BRICK, CARBON FIBER
  - 22) BRICK, Kevlar
  - 23) BRICK, FIBERGLASS
  - 24) BRICK, POLYESTER
  - 25) BRICK, POLYPROPYLENE
  - 26) BRICK, POLYURETHANE
  - 27) BRICK, POLYACRYLIC ACID
  - 28) BRICK, POLYVINYL CHLORIDE
  - 29) BRICK, POLYETHYLENE TEREPHTHALATE
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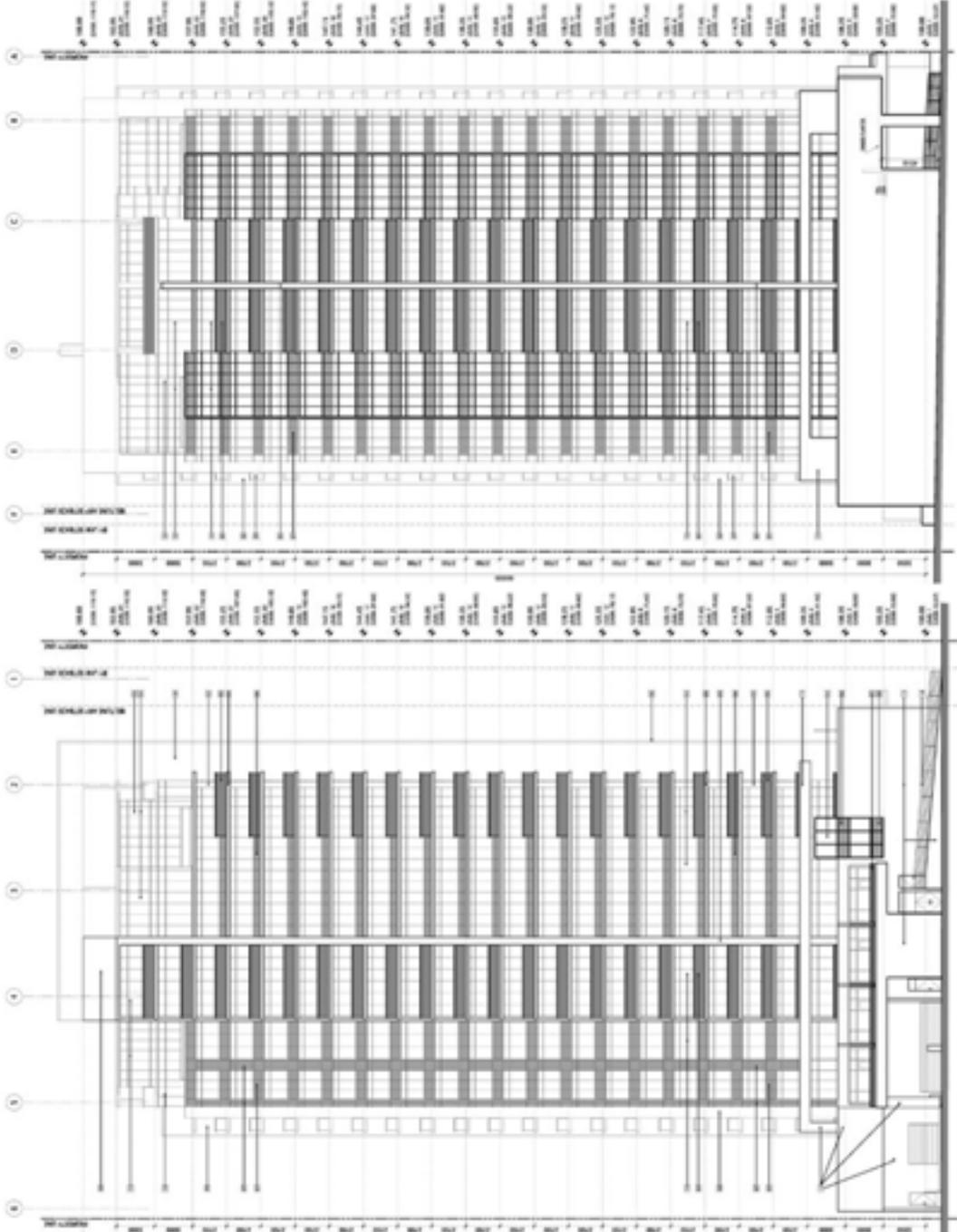


WEST ELEVATION - 8th STREET SW

SOUTH ELEVATION - 12th AVENUE SW

 <p><b>DA ARCHITECTS</b>        1000 WEST 10TH AVENUE        SUITE 1000        DENVER, CO 80202        TEL: 303.733.1111        FAX: 303.733.1112        WWW.DAARCHITECTS.COM</p>	<p>PROJECT NO. 07-001        SHEET NO. DP302</p>	<p>ALMA TOWER        1200 AVENUE 10        DENVER, CO 80202</p>	<p>DATE: 10/18/07</p>
			<p>SCALE: 1/8" = 1'-0"</p>

- MATERIAL LEGEND**
- 1) BRICK - COMMON BRICK
  - 2) BRICK - GLAZED
  - 3) BRICK - RED
  - 4) BRICK - RANDOM
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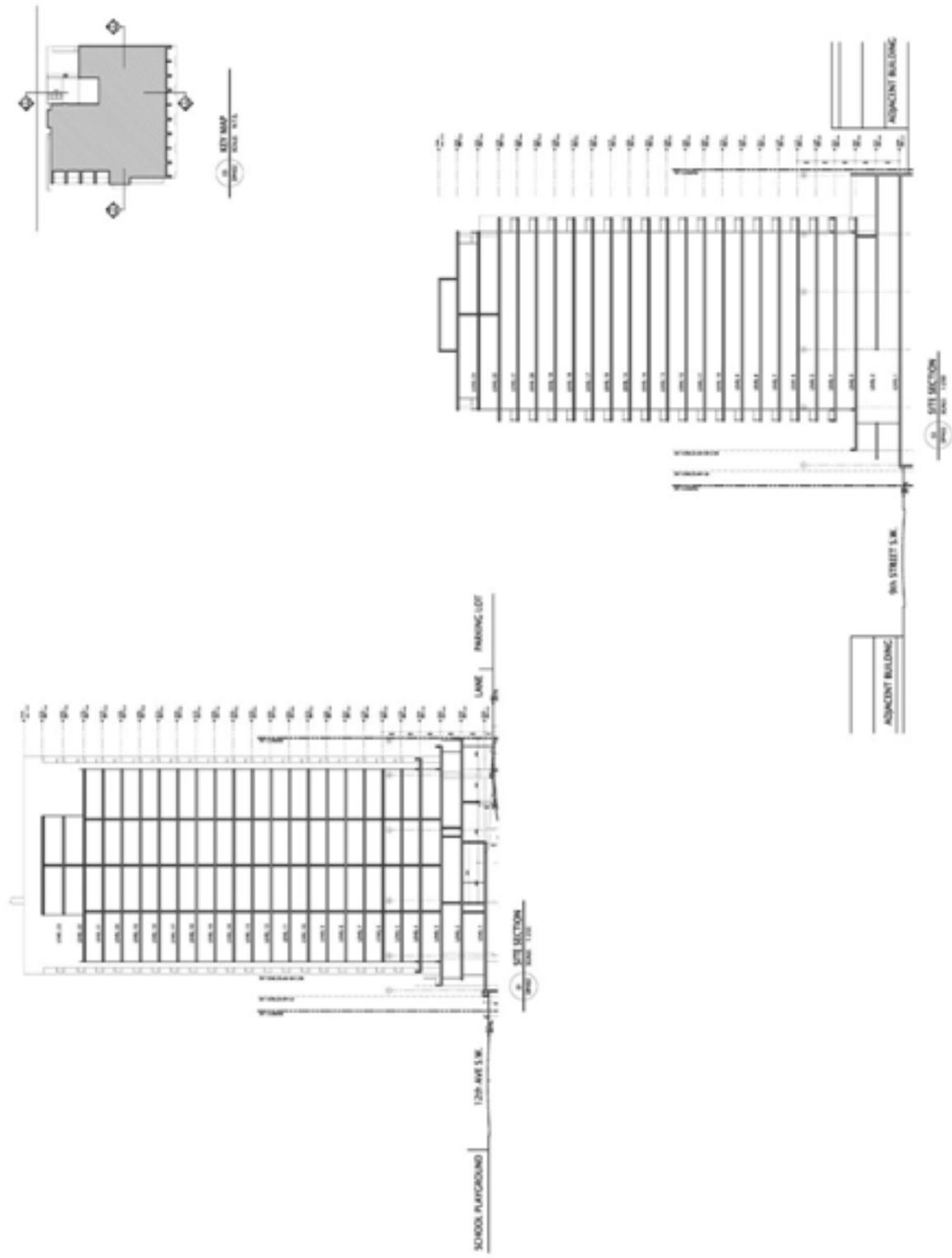


WEST ELEVATION  
 100' 0" 200' 0" 300' 0" 400' 0" 500' 0" 600' 0" 700' 0" 800' 0" 900' 0" 1000' 0"

NORTH ELEVATION - JAW  
 100' 0" 200' 0" 300' 0" 400' 0" 500' 0" 600' 0" 700' 0" 800' 0" 900' 0" 1000' 0"



 <p><b>DA ARCHITECTS</b>          1000 15th Street, Suite 100          Denver, CO 80202          Phone: 303.733.1111          Fax: 303.733.1112          www.daarchitects.com</p>	<p>PROJECT: ALBANY TOWER          LOCATION: 1201 AVENUE N.W., DENVER, CO          DATE: 10/18/07</p>	<p>ALBANY TOWER          1201 AVENUE N.W.          DENVER, CO 80202          PROJECT NUMBER: 07-001</p>	<p>DATE: 10/18/07          DRAWN BY: [Name]          CHECKED BY: [Name]          PROJECT: 07-001</p>	<p>SITE SECTIONS</p>	<p>DP402</p>
				<p>SCALE: 1/8" = 1'-0"</p>	<p>SCALE: 1/8" = 1'-0"</p>







Box 97, Suite 100, 1039 17<sup>th</sup> Avenue SW  
Calgary, Alberta  
T2T 2B2  
(403) 670-5499 ext. 2

June 28, 2007

RE: DP2007-1773 Aura Tower 940 12 AVE SW. Intergulf Cidex.

Dear Mona,

Following the applicant's presentation of Aura Tower at 940 12 AVE SW, Beltline Planning Group would like to express its strong support for the proposal.

It is BPG's belief that the application lives up to the intent and policies of the Beltline Area Redevelopment Plan and the Blueprint for the Beltline. It is a strong example of a project that will provide *density, quality* and *variety* in the community. BPG is encouraged by the contemporary design concept and material, high quality residential interface with the pedestrian environment, and well thought out landscape plan. BPG is also encouraged by the inclusion of several environmentally sustainable design features.

The Beltline ARP also encourages active uses, articulation and enhanced landscaping at grade in the lanes where feasible. If possible, BPG would encourage improvement of the lane elevation in this project.

Further, due to the excessively wide carriageways on the streets north of 12<sup>th</sup> Avenue that were a result of the industrial history of the area, we encouraged the applicant to pursue the narrowing of the carriageway through adding a boulevard to 9<sup>th</sup> Street. This measure would calm traffic in the area and create an enhanced pedestrian environment with opportunity for greater tree-planting on this side of the development.

Sincerely,

Josh White  
Community Planner  
Beltline Planning Group

**PROJECT NUMBER** 2006-080  
**PROJECT NAME** INTERGULF CIDEX - 12th AVE SW - AURA TOWER

**BONUSING**  
 TOTAL SITE AREA 1,813.41  
 SITE NET AREA 1,635.73

In sq ft.  
 19,519.43  
 17,606.83

DESCRIPTION	FORMULA	POINTS	ACHVD	BONUS	AREA	COMMENTS
1.0 COMMUNITY AMINITY SPACE				N/A		
2.0 PUBLICLY ACCESSIBLE PRIVATE OPEN SPACE	TOT. CONSTR. COST / AVG. LAND VALUE * 75%			N/A		
3.0 AFFORDABLE HOUSING UNITS				N/A		
4.0 HERITAGE DESIGNATION				N/A		
5.0 SUSTAINABLE BUILDING FEATURES		1.0	1.0	1 F.A.R.	906.21	
5.1 GREEN ROOF	75% ROOF AREA: 10% GREEN ROOF + 25% REFLECTIVE ROOF	5	5		725.37	
5.2 HOUSING DIVERSITY	10% 3 BEDROOMS OR TOWNHOUSES	4	4		0.00	
5.3 MIXED USE BUILDING				N/A		
5.4 RENEWABLE ENERGY RESOURCE				N/A		
5.4.1 5% ANNUAL ENERGY THROUGH ON-SITE SYSTEMS				N/A	0.00	
5.4.2 10% ANNUAL ENERGY THROUGH ON-SITE SYSTEMS				N/A	0.00	
5.5 RE USE OF AN EXISTING BUILDING				N/A	0.00	
5.6 USE OF WATER EFFICIENT LANDSCAPING		1	1		181.34	rain water harvesting systems
5.7 REDUCED DEVELOPMENT FOOTPRINT				N/A	0.00	
<b>TOTAL</b>	<b>TOTAL BONUS</b>	<b>10</b>	<b>10</b>		<b>1,813.41</b>	

CONTRIBUTION TO THE BELTLINE COMMUNITY (BOC)	(LAND VALUE) * (ADDITIONAL FLOOR AREA)	PER SQUARE METER
	643.76	1270.00
<b>TOTAL AREA TO PAY</b>	<b>643.76</b>	

**BASE F.A.R.** 8.00 14,507.32 sq'  
**TOTAL F.A.R. IN TOWER** 9.35 16,964.49 sq'  
**F.A.R. BONUS REQUIRED** 1.35 2,457.17 sq'  
**BONUS ACHIEVED** 1.00 1,813.41 sq'  
**ADDITIONAL REQUIRED** 0.35 643.76 sq'  
**TOTAL TO BE PAID** cad \$ 173,815.17

**Amendment LOC2006-0142  
Bylaw 40Z2007  
Council Approval: May 7, 2007**

**SCHEDULE B**



**DC DIRECT CONTROL DISTRICT**

## Amendment # LOC2006-0142 Bylaw #40Z2007

### SCHEDULE B

#### CONTINUED

#### 1. Land Use

The Permitted and Discretionary Uses of the CM-2 Downtown Business District of Bylaw 2P80 shall be the Permitted and Discretionary Uses respectively, except for the following:

- (a) Live-work units (N.P.) shall be a Discretionary Use; and
- (b) the following uses shall be deleted:

- Amusement Arcades
- Automotive sales and rentals
- Automotive services
- Automotive specialties
- Gaming Establishment -- Bingo
- Signs – Class 2.

For the purpose of this bylaw, "live-work unit" means a type of dwelling unit used by the resident for working and living purposes that may include, but is not limited to offices, personal service businesses and the selling of goods produced on site.

#### 2. Development Guidelines

The General Rules for Downtown Districts contained in Section 42.1 of Bylaw 2P80 shall apply to all uses and the Permitted Use Rules of the CM-2 Downtown Business District shall apply to Permitted Uses and the Discretionary Use Rules of the CM-2 Downtown Business District shall apply to Discretionary Uses, unless otherwise noted below:

- (a) Gross Floor Area
  - (i) A maximum of 5.0 F.A.R. for commercial development;
  - (ii) A maximum of 8.0 FAR for residential/mixed use development; and

## Amendment # LOC2006-0142 Bylaw #40Z2007

### SCHEDULE B

CONTINUED

(iii) The maximum FAR prescribed in subsections (i) and (ii) may be increased from 5.0 FAR to a maximum of 8.0 FAR for commercial development, and from 8.0 FAR to a maximum of 12.0 FAR for residential/mixed use development respectively in accordance with the bonus provisions contained within the Beltline Area Redevelopment Plan as amended by City Council from time to time.

(b) Yards

- (i) A minimum of 3.0 metres adjacent to 9 Street SW;
- (ii) A minimum of 1.5 metres adjacent to 12 Avenue SW; and
- (iii) No yard requirement for all other yards.

(c) Parking

In addition to the requirements of Section 18 of Bylaw 2P80, the following shall apply:

- (i) a minimum of 0.9 stalls for each residential and live work unit; and
- (ii) 0.15 stalls per residential unit for visitor parking, unless a lesser amount is demonstrated to the satisfaction of the Approving Authority;

(d) Building Design

All uses at grade shall be street oriented and include entrances at grade directly fronting the public street.

(e) Landscaping

- (i) A minimum of 30 per cent of the site area plus all public boulevards shall be landscaped;

## Amendment # LOC2006-0142 Bylaw #40Z2007

### SCHEDULE B

#### CONTINUED

- (ii) Landscaped areas contained either at grade or at the top of a podium shall be counted towards the 30 per cent landscaping requirement, and
  - (iii) All areas at grade that are not covered by building or driveway access shall be landscaped.
- (f) **Floor Plate Size Restrictions**
- All floor plates higher than 36 metres above grade shall have a maximum Gross Floor Area of 650 square metres.
- (g) **Building Height**
- No maximum height.
- (h) **Guidelines for Commercial Uses**
- (i) Except uses at grade, no commercial uses shall be located on a same storey or above a residential use; and
  - (ii) Except for live-work units, commercial uses shall have separate entry from that of the residential component of the building.
- (i) **Live-Work Units**
- (i) Live-work units shall be limited to those uses that do not create a nuisance by the way of electronic interference; dust; noise; odour; smoke; bright light or anything of an offensive or objectionable nature which is detectable to normal sensory perception outside of the live-work unit;
  - (ii) The working area shall not exceed 50 percent of the total floor area;

## Amendment # LOC2006-0142 Bylaw #40Z2007

### SCHEDULE B

CONTINUED

- (iii) A maximum of one non-resident employees or business partners may work on site;
  - (iv) Signage is limited to the interior of the building;
  - (v) No aspect of the operation shall be visible from outside the building;
  - (vi) There shall be no outside storage of material, goods or equipment on or immediately adjacent to the site;
  - (vii) A sign shall be erected and maintained within the building, sufficiently visible to the satisfaction of the Development Authority, indicating that live-work units are allowable within the development;
  - (viii) No live-work unit shall be located on the same story as a purely residential use; and
  - (ix) No live-work unit shall be located on a story above a purely residential use.
- (j) **Outdoor Cafe**  
The use of outdoor speaker system(s) is prohibited.
- (k) **Drinking Establishment**  
A maximum net floor area of 100 square metres.
- (l) **Recycling Facilities**  
Comprehensive recycling facilities shall be provided to the satisfaction of the Approving Authority.