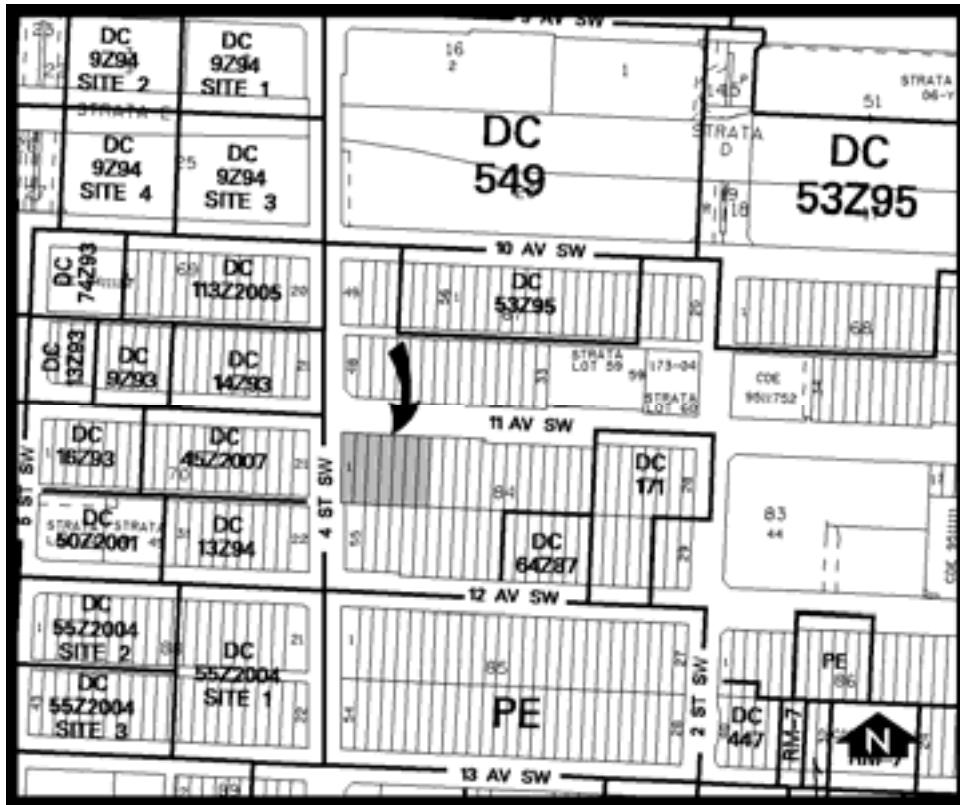


**REPORT TO THE CALGARY PLANNING COMMISSION**

<b>DEVELOPMENT PERMIT</b>	<b>ITEM NO: 05</b>	
	CPC DATE:	2008 April 02
	DP NO:	DP2007-2199

BELTLINE  
(Ward 8 – Alderman John Mar)



**PROPOSAL:**  
Office building (15 storeys) with retail at grade

<b>APPLICANT:</b> Poon McKenzie Architects	<b>OWNER:</b> 406141 Albetra Inc.
<b>MUNICIPAL ADDRESS:</b> 1108 – 4 Street SW	<b>LEGAL DESCRIPTION:</b> Plan C; Block 84; Lots 1-7
<b>EXISTING LAND USE DISTRICT(S):</b> DC 72Z84	
<b>AREA OF SITE:</b> 0.22 ha ± ( 0.54 ac ±)	
<b>CURRENT DEVELOPMENT:</b>	Two storey commercial building with main floor restaurant and parking lot.

**ADJACENT DEVELOPMENT:**

**NORTH:** 11 Avenue SW – New Commercial Building Under Construction

**SOUTH:** Commercial Building – 13 Storeys

**EAST:** Commercial Building

**WEST:** 4 Street SW - Parking Lot

<b>DEVELOPMENT SUMMARY</b>			
<b>RULE</b>	<b>BYLAW STANDARD</b>	<b>PROPOSED</b>	<b>RELAXATION</b>
<b>DENSITY</b>	8.0 FAR	8.0 FAR	None
<b>HEIGHT</b>	No Restriction	56.0 metres	None
<b>PARKING</b>	1 stall / 139.4 square metres for retail x 85% (103.8 stalls)  1 stall / 139.4 square metres for office x 85% (4.6 stalls)  Total = 108.4 (109)	181 stalls	None
<b>EXTERIOR FINISH MATERIALS</b>			
The podium of the building consists of granite cladding and steel columns with clear glazing accented with aluminium spandrels and framing. The main entrance to the building and retail units consist of clear glazing and are accented by glass canopies suspended by steel supports. The tower of the building consists of clear glazing with clear and aluminium spandrels.			

<b>DEVELOPMENT SUMMARY</b>			
<b>RULE</b>	<b>BYLAW STANDARD</b>	<b>PROPOSED</b>	<b>RELAXATION</b>
The tower is accented by a corner portion which consists of dark tinted glass and spandrels.			

<b>SUMMARY OF CIRCULATION REFEREES</b>	
<b>URBAN DESIGN REVIEW COMMITTEE</b>	Comments attached in APPENDIX V
<b>SPECIAL REFEREE (Victoria Crossing BRZ)</b>	No Comments APPENDIX VI
<b>COMMUNITY ASSOCIATION (Beltline Planning Group (BPG))</b>	Comments attached in APPENDIX III

## **PLANNING EVALUATION**

### **Introduction**

This development permit application is for an approximately 17,781 square metre (191,399 square feet) office and retail development located within the beltline. The proposal consists of a 15 storey building with retail uses at grade.

### **Site Context**

The subject site is located on the south east corner of 11 Avenue and 4 Street SW. The surrounding area consists of a mixture of buildings containing high-rise commercial, restaurant, and retail uses.

The site is located within an area which is highly accessible by a number of different modes of transportation. 4 Street SW is a major pedestrian corridor linking the downtown core with the beltline. As well the site is within 600 metres of 3 LRT stations and also within 100 metres of 4 bus routes.

### **Land Use District**

The subject property is governed under the Direct Control district 72Z84. DC72Z84 permits offices, retail, and other commercial uses as discretionary uses. Applicable discretionary use rules include regulations relating to FAR, building height, parking, loading, building orientation, building finishes, and garbage storage.

### **Legislation & Policy**

Development on the subject site is guided by the policies of the Beltline Area Redevelopment Plan (approved by Council 2006 May). The site is located within the Urban Mixed Use District of the plan, identified as an area with a wide range and mix of uses in many possible configurations, both in buildings and within the local context resulting in vibrant, pedestrian streets.

The project complies with the key objectives of the Urban Mixed Use District, including:

- To provide for uses that serve the local and broader population.
- To create streetscapes that respond to the context of the particular area, that have buildings that are built to and frame the sidewalk, and that have a high degree of permeability between interior and exterior space through the use of transparent windows and doors.
- Ensuring street level uses that front a business street edge shall consist primarily of retail, personal service, and restaurants uses.
- Ensuring that facades are highly articulated and incorporate architectural elements that suggest a rhythm of narrower business frontages.

### Site Layout & Building Design

The subject proposal is a 14 storey office building with one storey of retail within the podium. The 11 Avenue and 4 Street frontage has been designed to provide an attractive pedestrian oriented environment with individual access to the ground floor retail units from the street. A prominent main front entrance is also located at the corner of the ground floor which acts as the main entrance to the office building. All glazing at podium level is clear, allowing for maximum visual participation with interior activities.

The materials for the project are a combination of stone cladding with aluminium panels and accents, and glazing. These materials are contained on both the tower and the podium. The tower also has a corner accent piece proposed in dark tinted glazing. The glazing and angular design of the building allows for a balance between the tower and podium allowing for an architectural contrast to the building.

The application was circulated to the Urban Design Review Panel (see complete comments in APPENDIX V). The following table lists the comments of the panel and how they were addressed during the review of this application.

Urban Design Review Panel Comment	Applicants Response
The Panel is concerned that the architectural expression of the building and the landscape design are not complementary, and encourages the applicant to redesign the hard/soft landscaping to reflect the high quality of the building architecture;	The applicant amended the proposal to include the maximum number of tree plantings along the 11 Avenue and 4 Street frontages. Decorative hard landscaping has been proposed along both frontages, as well as a number of benches and light standards.
The Panel recommends that the protruding base at the main entry area columns be reduced in size to minimize the potential of the public utilizing the tops of these bases for refuse placement as well as to become more proportional with the delicate columns which they support;	The applicant has amended the drawings removing the lower portion of the columns and concrete bases.
The Panel is concerned that the steel braces supporting the entry canopy will be dangerous to pedestrians (low head room) and that they either are anchored to the columns a safe distance above the side walk or completely removed and	The applicant has amended the design of the canopies removing the supports, showing details that the canopies will be self-supporting with a minimum vertical clearance of 2.4 metres between the canopy and sidewalk.

the canopy slung with supports from above;	
The Panel encourages the Applicant to introduce as many entrances into the retail shops as possible so as to encourage a high number and variety of smaller retailers rather than large tenants that require only one entry; and	The applicant has amended the plans showing multiple entrances for each retail space.
The Panel is concerned with the lack of sustainable initiatives and encourages the applicant to incorporate as many sustainable design features as possible.	Noted by the applicant. Not an Urban Design consideration.

### **Landscaping**

Landscaping is proposed at-grade and on the roof of podium and tower. Along 11 Avenue and 4 Street SW decorative concrete paving has been provided to enhance the interaction between the building and pedestrian realm. Four benches have been proposed along both frontages as well as eight light standards.

Along the 4 Street SW frontage, 6 American Elm trees with decorative tree grates are proposed. As well along the 11 Avenue SW frontage, 7 American Elm trees are also proposed. The proposed planting of the trees along each of the frontages will improve the planting treatment within the area creating a safer and more cohesive pedestrian environment.

Roof top landscaped areas have also been proposed on top of the podium and tower. Each roof top will contain rock gardens, concrete pavers, sedum gardens, benches as well as picnic tables.

### **Sustainable Design Features**

As Council has yet to mandate LEED certification, Administration has nevertheless encouraged the applicant to provide a summary of sustainable design strategies for this proposal. The applicant has indicated a commitment to sustainable design practices in APPENDIX IV. However, there has been no indication that LEED certification will be pursued with this project at this time.

### **Site Access & Traffic**

There is one vehicular access for this project located 11 Avenue SW. All loading and parking access will take place from this access point. A Transportation Impact Assessment (TIA) was required as a result of this proposal. It was concluded that the impact of the traffic generated by this development will be minimal and impacts upon the existing network will remain very similar to the existing conditions.

### **Parking**

Under the provisions of the DC72Z84 a total number of 109 stalls are required for the proposed development. The development proposes 181 stalls of onsite parking, 72 stalls over the required number of stalls. As this is a surplus number of stalls a technical relaxation of the DC requirements is not required.

### **Site Servicing for Utilities**

Services are available for the proposed development. The developer is responsible for any

required upgrades to the existing services including a contribution to the Centre City Development Levy.

### **Environmental Site Assessment**

No concerns arose through the review of this application.

### **Community Association Comments**

The Beltline Planning Group (BPG) expressed strong support for the project (see APPENDIX III). In particular the BPG have noted that they were encouraged by the active retail uses at grade, strong corner element, high quality of materials, and articulation of the façade.

### **CONCLUSION:**

The proposal is supported for the following reasons:

1. The project meets the goals of the Beltline Area Redevelopment Plan to allow for a wide range and mix of uses with a local context resulting in the vibrancy of the pedestrian streets.
2. The project provides a positive edge at the street level through the introduction of active uses at the street level.
3. The project provides for a continuous public realm with an attractive pedestrian scale design.

### **CORPORATE PLANNING APPLICATIONS GROUP RECOMMENDATION: APPROVAL**

The Corporate Planning Applications Group recommends APPROVAL with the following conditions:

#### **Prior to Release Requirements**

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority.

#### **Planning:**

1. The developer shall provide to the File Manager, a clearance letter from Enmax Corporation indicating that all of its outstanding concerns have been satisfied. Please contact Kathy O'Neill at Enmax directly at 514-2034.
2. Submit a total of 5 complete sets of amended plans (file folded and collated) to the File Manager that comprehensively address the prior to release conditions of all Departments as specified below. In order to expedite the review of the amended plans, 4 plan set(s) shall highlight all of the amendments. Please ensure that all plans affected by the revisions are amended accordingly. In the event that the prior to release conditions are not resolved, an \$800.00 recirculation fee may apply.

**Urban Development:**

3. Amend the plans to:

Roads

- a. Indicate a minimum 2.4 metre vertical clearance from the sidewalk to the bottom of the canopy
  - b. Note that all canopies are removable.
4. The developer shall remit payment for the Centre City Utility Levy, in the amount of \$209,600.00, to Urban Development. This off-site levy is for Community Recreation, Transportation, Parks Upgrading, Greenways and the construction, upgrading and replacement of water and sanitary sewer mains required for or impacted by the proposed development in the Centre City Area. The Utility Levy amount above is determined by using \$3,970 per meter of site frontage (on the avenues only) of the proposed development
5. The developer shall remit payment, in the form of a certified cheque, bank draft, or letter of credit. An estimate of the costs will be prepared by the City and provided to the applicant. The estimate will be prepared once the applicable comments relating to the Business Unit(s) noted below are resolved on the plans.

Calgary Roads

- a. Approved driveway crossings
  - b. Sidewalks
  - c. Wheelchair ramps
  - d. Streetlight upgrading
  - e. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc., should it be deemed necessary through a site inspection by Calgary Roads personnel
6. The developer shall execute Public Access Easement Agreement for the bylawed setback and corner cut areas to the satisfaction of the Manager of Urban Development.

**Transportation:**

7. Provide a parking protocol.
8. Clearly identify office and retail parking stalls in the parkade.
9. Provide convex mirror (or suitable alternative) for motorists exiting the underground parkade so that they can see traffic on the driveway that may be obscured by vehicles occupying the loading bay area.
10. Amend the plans to include signs advising motorists of the available visitor parking. Signs must be prominently displayed in front of the building and a visitor parking sign placed in front of each visitor parking stall.

**Parks:**

No Comments

## **Permanent Conditions**

### **Planning:**

11. The development shall be completed in its entirety, in accordance with the approved plans and conditions.
12. No changes to the approved plans shall take place unless authorized by the Development Authority.
13. A Development Completion Permit shall be issued for the development before the building occupied. A Development Completion Permit is independent from the requirements of Building Permit occupancy. Call Development Inspection Services at 268-5491 to request a site inspection for the Development Completion Permit.
14. The garbage enclosure shall be kept in a good state of repair at all times and the doors shall be kept closed while the enclosures are not actively in use for delivery or removal of refuse.
15. Loading and delivery shall take place in the designated loading stall as shown on the approved plans and shall, at no time, impede the safety of pedestrian movements and use of the parking lot.
16. All areas of soft landscaping shall be provided with an underground sprinkler irrigation system.
17. All roof top equipment shall be painted and/or screened to the satisfaction of the Development Authority.
18. Any fascia or canopy signage shall be designed in a manner that is visually compatible with the architecture of the building.
19. The Permanent Conditions will be finalized at the time of decision.

### **Urban Development:**

20. If during construction of the development, the applicant, the owner of the development, or any of their agents or contractors becomes aware of any contamination:
  - a. The person discovering such contamination shall forthwith report the contamination to Alberta Environment, the Calgary Health Region and The City of Calgary, and
  - b. The applicant shall submit a current Phase II Environmental Site Assessment report to The City of Calgary, and
  - c. If required, the applicant shall submit a Remedial Action Plan and/or a Risk Management Plan to The City of Calgary.

Prior to issuance of a Development Completion Permit, a letter from the qualified professional who prepared the Remedial Action Plan and/or a Risk Management Plan is to be issued to The City of Calgary in which the qualified professional certifies that the



Remedial Action Plan and/or Risk Management Plan has been implemented.

All reports are to be prepared by a qualified professional and shall be to the satisfaction of The City of Calgary (Environmental Management).

21. The developer shall be responsible for the cost of public work adjacent to the site in City rights-of-way, as required by the Manager of Urban Development, including but not being limited to:
  - a. Removal of any existing facilities not required for the new development (old driveways and redundant services, etc.)
  - b. Relocation of works (survey monuments and underground/overhead utilities, etc.)
  - c. Upgrading of works (road widening and watermain upgrading, etc.)
  - d. Construction of new works (lane, paving, sidewalks, curbs, etc.)
  - e. Reconstruction of City facilities damaged during construction

All work performed on public property shall be done in accordance with City standards and include, but not necessarily be limited to driveways, walks, curbs, gutters, paving, retaining walls, stairs, guard rails, street lighting, traffic signs and control devices, power and utility poles, electrical vaults, transformers, power lines, gas lines, communication lines, water lines, hydrants, sanitary lines, storm sewer lines, catch basins, manholes, valves, chambers, service connections, berms, swales, fencing and landscaping.

Every effort will be made to identify the cost of public works associated with this development in advance of work proceeding; however, in some cases, this will be impossible to predict. Where the actual cost exceeds the estimate, the developer shall pay the difference, upon receipt of notice, to the City.

22. Indemnity Agreements are required for any work to be undertaken adjacent to or within the City right-of-way or setback areas for purpose of shoring, tie-backs, piles, sidewalks, lane paving, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in City rights-of-way and setback areas must be removed to the satisfaction of the Manager of Urban Development, at the developer's expense, upon completion of foundation work.
23. The developer, and those under their control, shall develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking). Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control. The developer, or their representative, shall designate a person to inspect all controls and practices every seven days and within 24 hours of precipitation or snowfall events. Please refer to the current edition of The City of Calgary Guidelines for Erosion and Sediment Control for more information.
24. The developer shall submit an "As Constructed Grade Certificate" signed and sealed by a Professional Engineer, registered Architect, or a Professional Land Surveyor confirming that the development has been constructed in functional compliance with the Development Site

Servicing Plan. Certification is to be completed within the timelines specified in the Lot Grading Bylaw 32M2004. Functional compliance is solely determined by the City to mean compliance with all City Bylaws, Standards, Specifications and Guidelines.

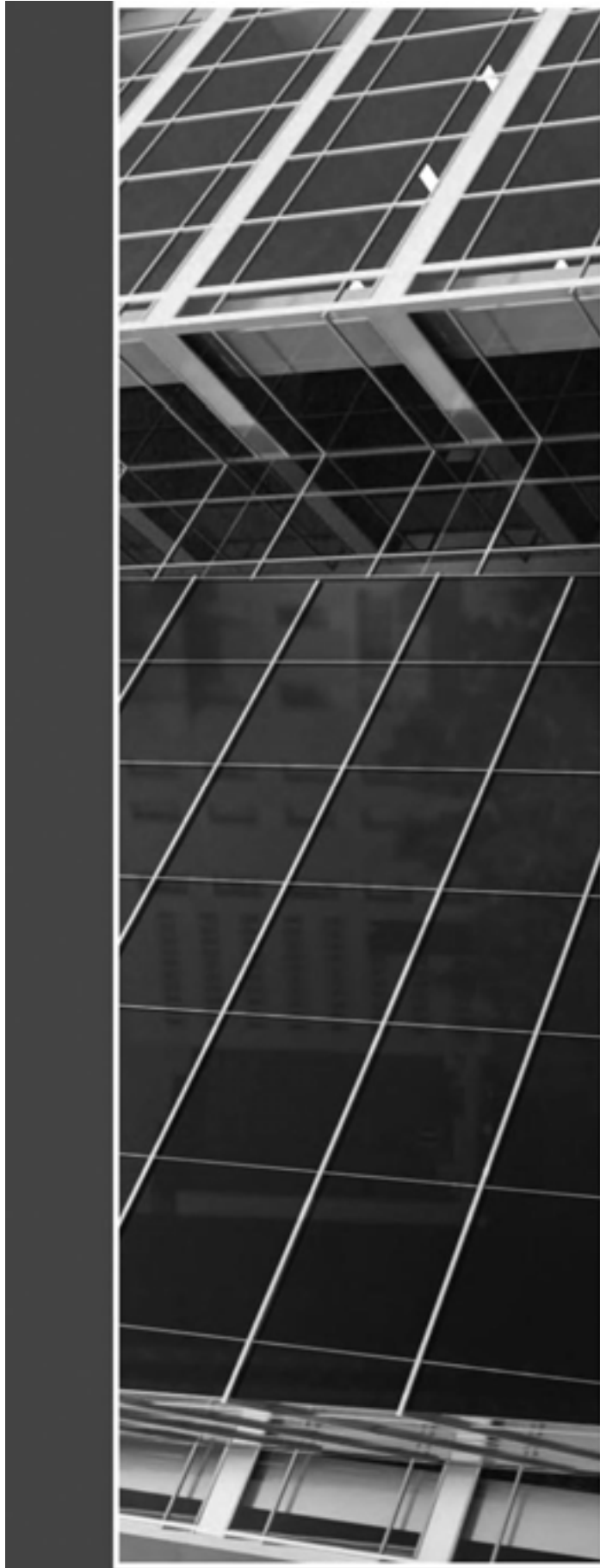
**Transportation:**

No comment

**Parks:**

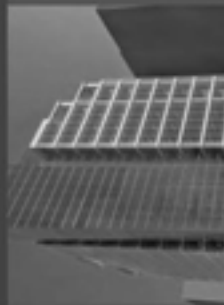
No comments

Michael Stevenson  
2008/April



GENCO 1108  
CALGARY PLANNING COMMISSION  
2007.003

MARCH 2008



Calgary Office  
PMA Architects Inc. / PMA Group Company  
Suite 100, 201 10th Ave SE  
Calgary, Alberta T2G 0R1  
T 403.243.4000 F 403.243.1215



**1.0 LOCATION AND CONTEXT**

The development site is located at 1104-4th Street SW in the City of Calgary's Beltline district. The area is characterized by retail/office uses and some new high density residential and commercial development.



SITE BOUNDARY



PICTURE 2 SITE VIEW LOOKING EAST



PICTURE 3 SITE VIEW LOOKING WEST



PICTURE 1 SITE VIEW LOOKING SOUTH WEST

**GENCO 4 + 11**

**11 AVE & 4 ST SW, CALGARY, ALBERTA**  
LOCATION AND CONTEXT

DATE: 01/14/2008  
PROJECT #: 2007085  
PROJECT DIRECTOR: J.P.  
DRAWN BY: J.C.  
SCALE: A1:1



2.0 SITE INFORMATION  
LAND-USE / ZONING

The site area is 65,149 m<sup>2</sup> of land and zoned DC (Direct Control) as per By-law 072284.



ZONING PLAN

GENCO 1108

11 AVE & 4 ST SW, CALGARY, ALBERTA  
SITE INFORMATION

DATE: 01/14/2008  
 PROJECT #: 2007085  
 PROJECT DIRECTOR: J.P.  
 DRAWN BY: J.C.  
 SCALE: 1/8" = 1'

2

**3.0 DEVELOPMENT GUIDELINES**

The following is a brief overview of the development guidelines proposed for this project:

- A density of 8.0 FAR is proposed, in accordance with existing zoning

**4.0 APPLICABLE LEGISLATION**

This project complies with Land Use By-Law and Transit Oriented Design (TOD):



**GENCO 1108**

11 AVE & 4 ST SW, CALGARY, ALBERTA

DEVELOPMENT GUIDELINES AND APPLICABLE LEGISLATION

DATE: 01/14/2008  
 PROJECT #: 2007085  
 PROJECT DIRECTOR: J.P.  
 DRAWING NO.: 4C  
 SCALE: 4/15



## 5.0 DESIGN PRINCIPLES

The Design has been guided by the following:

### RESPONSE TO CORNER CONDITION

This building is located on a prominent urban street corner with high volumes of pedestrian and vehicular traffic at the intersection. To respond to this condition, the building is designed with a strong functional and visual emphasis at the corner. By cutting away the massing at the corner, a wider area for pedestrian collection and circulation is created. Additionally, the building entrance is placed at this key point and is architecturally well defined. Directly above the entrance, the building slopes up and away from the street up to the top of the podium at the fourth storey, then cantilevers forward from the fifth level through to the roof.

### URBAN VITALITY

To contribute to community vitality, the building is animated through strategic points of interaction between the street and building users. Building users are encouraged to physically emerge from the building and step closer to the street at the fourth floor, which pulls back to allow for a wrap-around terrace. Additional terraces are located at the 14th and 15th floors, punctuating the building with more indoor/outdoor opportunities. A green roof/rooftop terrace covers the building, delivering a final point of indoor/outdoor permeability.

To address visual interaction between the built environment and the community outside the building, the abundant use of glass allows for maximum light penetration and visual permeability.

Programmatically, retail shops are positioned around the 11th avenue and 4th street frontage. Signage, display, lighting and landscaping contributes further to vitality to the street. A glass canopy positioned above retail areas provides comfort to pedestrians while retaining the visual permeability from above. Vehicular access and loading areas are located at the rear of the site in order to avoid any impediment to pedestrian circulation.

To promote and support active lifestyle within the overall built environment, amenities such as bicycle storage, fitness rooms, locker rooms and showers are included for use by tenants.

### CONTEMPORARY ARCHITECTURAL EXPRESSION

A contemporary architectural expression has been selected for the development as a suitable contribution to the community context and nature of use. Simple form and modern material selection provide a sleek and current aesthetic that will provide pleasing and sophisticated architectural appeal well into the future.

A dramatic cantilevered portion of the facade above the entrance adds striking geometry and variation to the overall building form, and emphasizes the corner. The combined use of clear and smoky grey glass furthers urban sophistication. This overall contemporary impression is detailed with metal "fins" placed on column elements at lowest levels of the building, subtly illuminated to add luminosity and drama at the street.

### FUTURE NEEDS

The Design Concept strives to anticipate increasing density and market demand for office space and the integration of new development in the downtown area. By providing highly efficient and flexible floor plates the development will address market need.

## GENCO 1108

11 AVE & 4 ST SW, CALGARY, ALBERTA

DESIGN PRINCIPLES

DATE: 01/14/2008  
PROJECT #: 2007048  
PROJECT DIRECTOR: SP  
DRAWN BY: EC  
SCALE: 0/1/5



## 6.0 SUSTAINABLE DESIGN

Sustainable Design is considered an important part of responsible site development. Sustainable design features to include the following: reduction in electricity usage thru efficient fixtures and energy management, reduction in heating and cooling requirements thru efficient systems, water usage and waste management reduction strategies, construction waste management and recycling strategies, interior design elements to use renewable resources.

### SUSTAINABLE SITES

- Site Selection - Previously developed sites to avoid development of inappropriate sites and reduce the environmental impact from the location of a building on a site
- Development Density - Channel development to urban area with existing infrastructure, protect green-fields and preserve habitat and natural resources
- Alternative Transportation - Reduce pollution and land development impacts from automobile use.
- Public Transportation Access - Building located within 800 metres of 9 LRT stations and 400 metres of 53 public bus lines offering frequent service.
- Bicycle Storage & Changing Rooms - Building provides Class 1 & 2 bicycle storage to meet Calgary city requirement, with convenient change rooms/shower facilities in the parkade.
- Stormwater Management Rate and Quantity - the existing imperviousness is greater than 50%, a stormwater management plan resulting in a 25% decrease in the rate and quantity shall be developed.
- Heat Island Effect: Roof - proposed "green" (vegetated) roof for at least 50% of the roof area.
- Light Pollution Reduction - eliminate light trespass from the building and site.

### WATER EFFICIENCY

- Water Efficient Landscaping - reduction of the use of potable water for landscape irrigation by 50%.
- Water Use Reduction: 20% - By using plumbing fixtures that meet or exceed fixture performance requirements.

### ENERGY & ATMOSPHERE

- Minimum Energy Performance - reduce the design energy consumption to comply with CBEP requirement for a 25% reduction.

### MATERIALS & RESOURCES

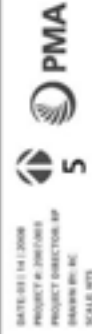
- Storage and Collection of Recyclables - provision of area for separation, collection and storage of materials for recycling.

### INDOOR ENVIRONMENTAL QUALITY

- Minimum IAQ Performance - meet minimum indoor air quality performance by complying with Sections 4, 5, 6 and 7 of ASHRAE 62-2001.
- Environmental Tobacco Smoke Control - the building is smoke free.
- Carbon Dioxide Monitoring - install a permanent CO2 monitoring system
- Ventilation Effectiveness - design the HVAC system and building envelope to optimize air change effectiveness.
- Low-Emitting Materials - Low-VOC materials including adhesives/sealants, paints/coatings, carpets, and composite wood/laminate adhesives shall be specified in the construction documents.
- Controllability of Systems - Provide a high level of thermal, ventilation and lighting system control for perimeter and non-perimeter spaces.
- Thermal Comfort Compliance - establish comfort criteria per the standard and design the building envelope and HVAC system to maintain these comfort ranges.

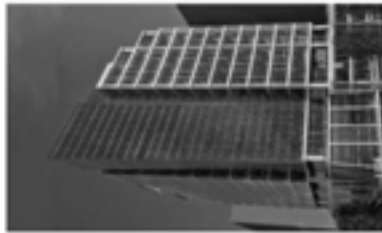
**GENCO 1108**

11 AVE & 4 ST SW, CALGARY, ALBERTA  
SUSTAINABLE DESIGN





7.0 DESIGN RESPONSE



7.1 PROJECT STATISTICS

LEGAL DESCRIPTION LOT 1 & 7, BLOCK 84  
 PLAN C  
 MUNICIPAL ADDRESS 11TH AVENUE & 4TH STREET S.W  
 CALGARY, AB  
 LAND USE DC  
 ZONING C  
 SITE AREA 2,213 sqm (5,468 sq ft)  
 F.A.R. ALLOWED 8 (17,700 sqm)  
 F.A.R. PROPOSED 7.53  
 SETBACKS  
 11th Avenue SW/Road widening 2,134 m  
 Setback 1.5 m  
 4th Street SW Road widening 2,134 m  
 Setback 1.5 m  
 3,634 m  
 Setback 3,634 m

AREA CALCULATIONS

Floor Level	Total Area
Level 1	8,150
Level 2	8,150
Level 3	8,150
Level 4	8,150
Level 5	8,150
Level 6	8,150
Level 7	8,150
Level 8	8,150
Level 9	8,150
Level 10	8,150
Level 11	8,150
Level 12	8,150
Level 13	8,150
Level 14	8,150
Level 15 (Roofs)	200
<b>Total</b>	<b>172,821</b>

Total Building Area 17,281  
 Gross Office Floor Area 17,026  
 Gross Retail Area 255

PARKING CALCULATIONS

Category	Parking Required
Office	10,482 sqm of total floor area
Retail	750 sqm
<b>Total</b>	<b>11,232</b>

Calculating 50% efficiency in office buildings and 100% for retail buildings.

PARKING STALLS

Parking Level	Stalls
Level P1 & P2	20
Level P3 & P4	40
Level P5 & P6	40
Level P7 & P8	40
Level P9	10
<b>Total</b>	<b>150</b>

Loading 2 stalls

PARKING AREAS

Parking Level	Area (sqm)
Level P1 & P2	1,320
Level P3 & P4	2,640
Level P5 & P6	2,640
Level P7 & P8	2,640
Level P9	660
<b>Total</b>	<b>10,260</b>

BICYCLE STORAGE

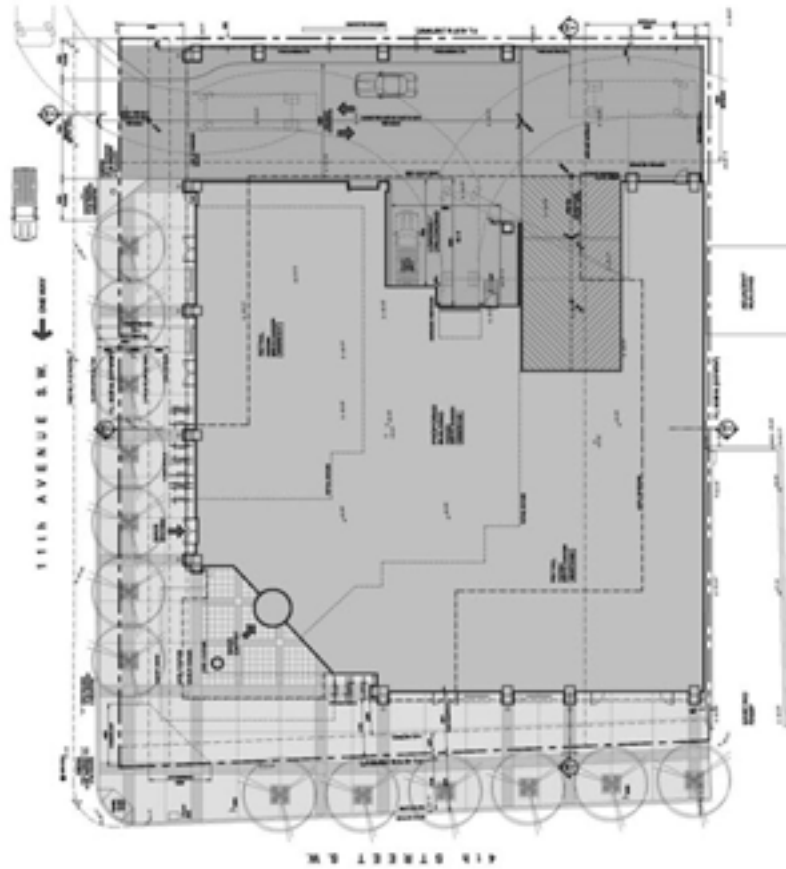
Category	Bicycles Storage Required
Office	1,000,000 sqm
Retail	100,000 sqm
<b>Total</b>	<b>1,100,000</b>

Category	Bicycles Storage Provided
Office 1	50
Office 2	50
<b>Total</b>	<b>100</b>

BOMA STANDARD CALCULATIONS  
 OFFICE EFFICIENCY

Level	Gross Area (sqm)	Usable Area (sqm)	Rentable Area (sqm)	Area of Efficiency (%)
Level 1	8,150.34	750.70	457.40	56.14
Level 2	8,150.34	750.70	457.40	56.14
Level 3	8,150.34	750.70	457.40	56.14
Level 4	8,150.34	750.70	457.40	56.14
Level 5	8,150.34	750.70	457.40	56.14
Level 6	8,150.34	750.70	457.40	56.14
Level 7	8,150.34	750.70	457.40	56.14
Level 8	8,150.34	750.70	457.40	56.14
Level 9	8,150.34	750.70	457.40	56.14
Level 10	8,150.34	750.70	457.40	56.14
Level 11	8,150.34	750.70	457.40	56.14
Level 12	8,150.34	750.70	457.40	56.14
Level 13	8,150.34	750.70	457.40	56.14
Level 14	8,150.34	750.70	457.40	56.14
Level 15	8,150.34	750.70	457.40	56.14
<b>Total</b>	<b>124,055.12</b>	<b>14,029.78</b>	<b>88,041.92</b>	<b>1,064.17</b>

7.2 DESIGN RESPONSE  
SITE PLAN

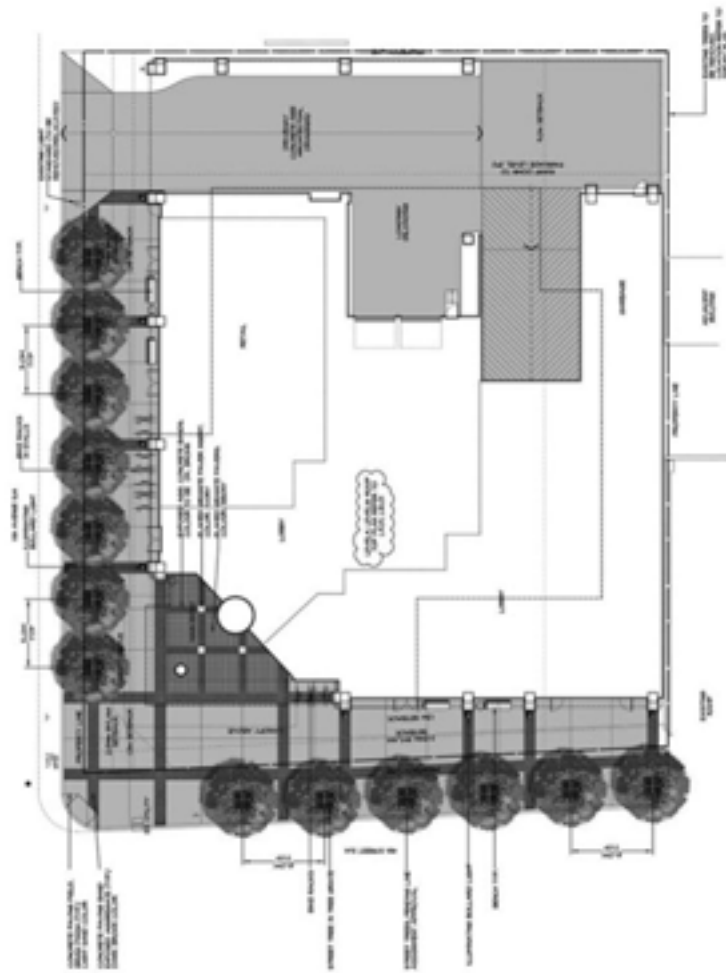


**GENCO 1108**  
11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - SITE PLAN

DATE: 01/14/2008  
PROJECT NO: 2007018  
PROJECT DIRECTOR: J.P.  
DRAWN BY: J.C.  
SCALE: A1:1



7.3 DESIGN RESPONSE  
LANDSCAPE PLAN



LANDSCAPE ELEMENTS INSPIRATION



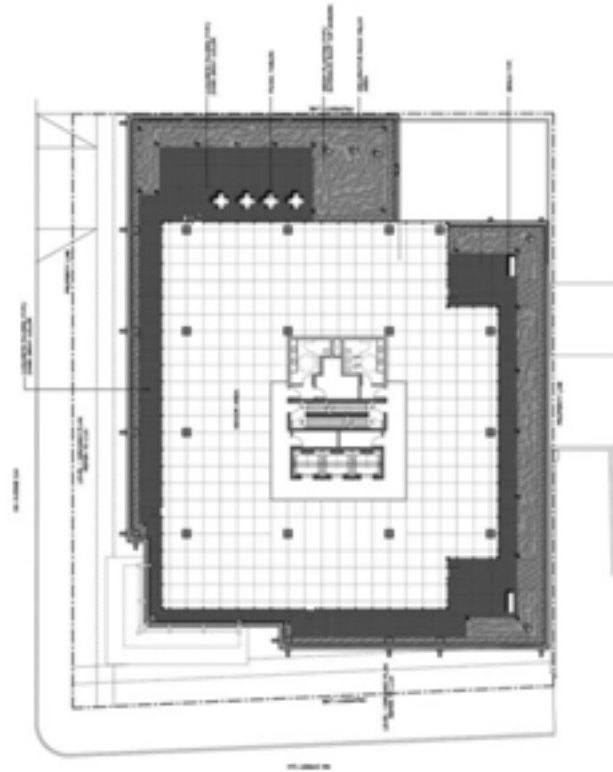
GENCO 1108

11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - LANDSCAPE PLAN

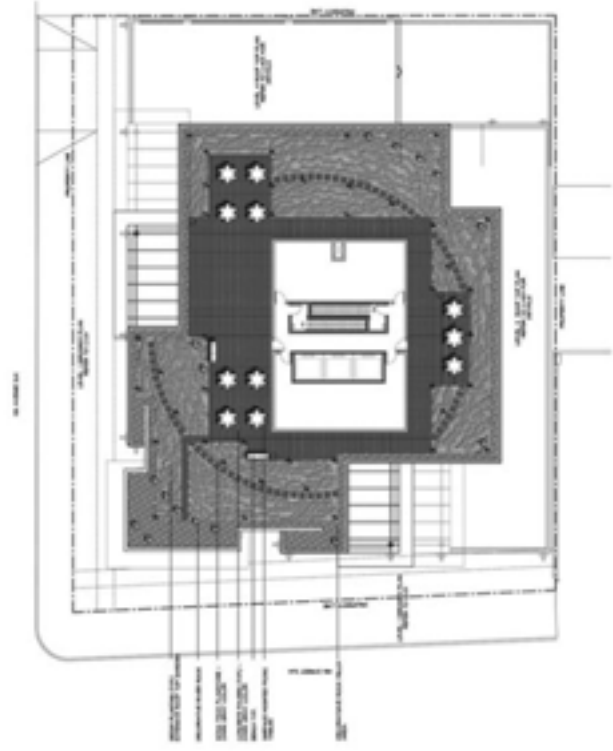
DATED: 01/14/2008  
PROJECT NO: 20070816  
PROJECT DIRECTOR: J.P.  
DESIGNER: M.E.  
SCALE: 1/8"=1'-0"



7.3 DESIGN RESPONSE  
LANDSCAPE PLAN



LANDSCAPE PLAN LEVEL 4 (SBB) (in Landscape Area)



LANDSCAPE PLAN LEVEL 16 (T77) (in Landscape Area)

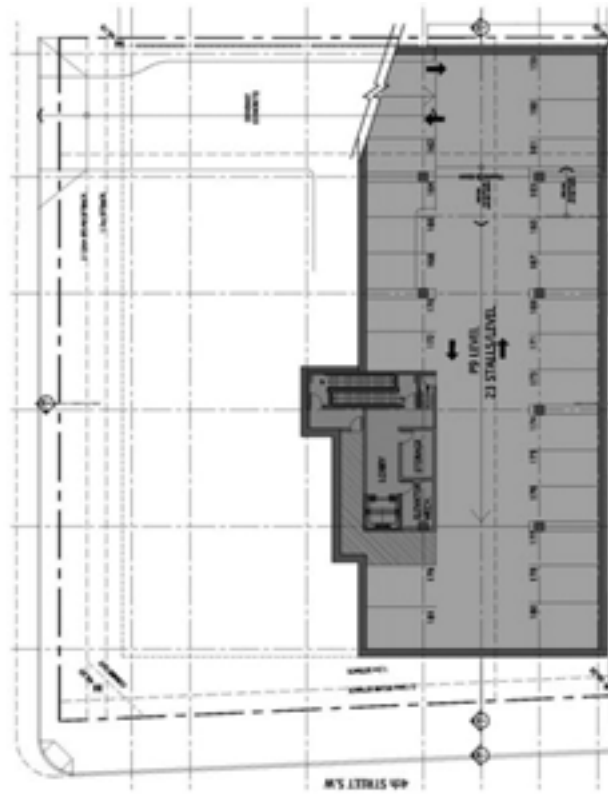
**GENCO 1108**

11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - LANDSCAPE PLAN

DATE: 01/14/2008  
PROJECT #: 2007085  
PROJECT DIRECTOR: J.P.  
DRAWN BY: J.C.  
SCALE: 1/8" = 1'-0"



7.4 DESIGN RESPONSE  
PARKADES



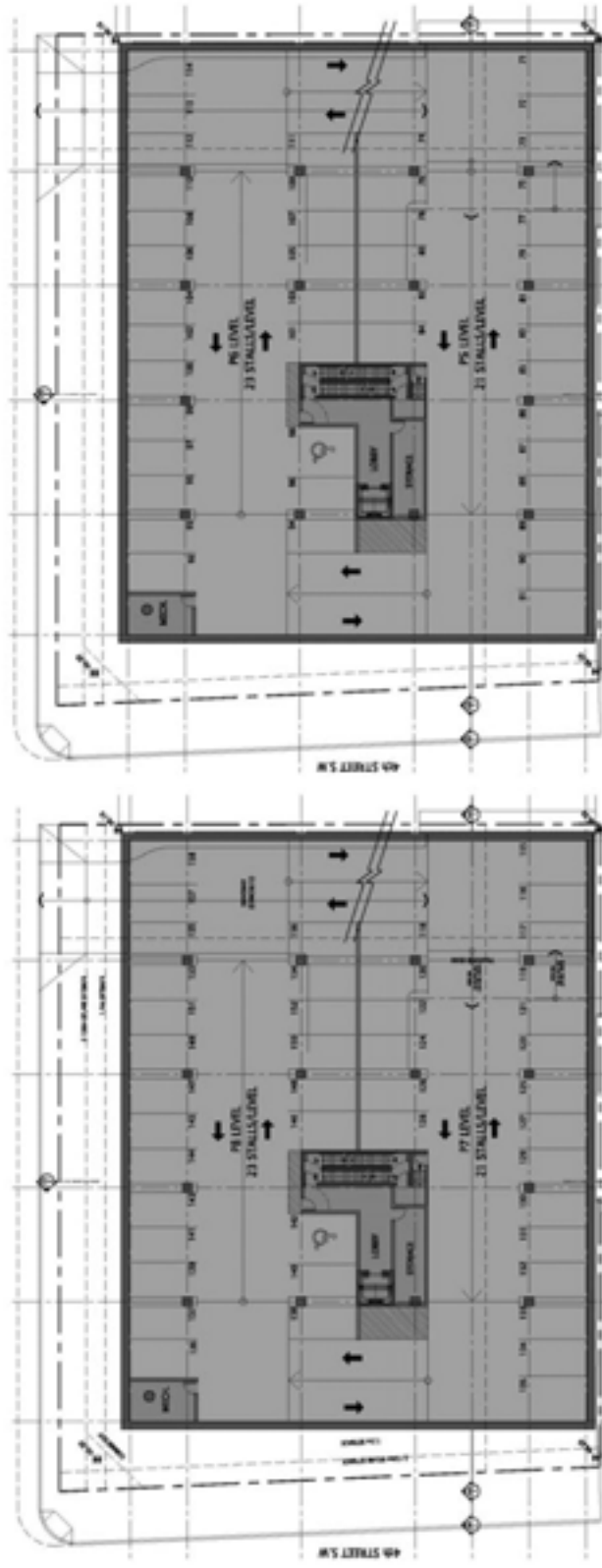
UNDERGROUND LEVEL P1 (935 sqft)

**GENCO 1108**  
11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - PARKADES

DATE: 01/14/2008  
 PROJECT #: 2007085  
 PROJECT DIRECTOR: SP  
 DESIGNER: JC  
 SCALE: 1/8" = 1'-0"




7.4 DESIGN RESPONSE  
PARKADES



UNDERGROUND LEVEL P7 AND P8 (1:765 scale)

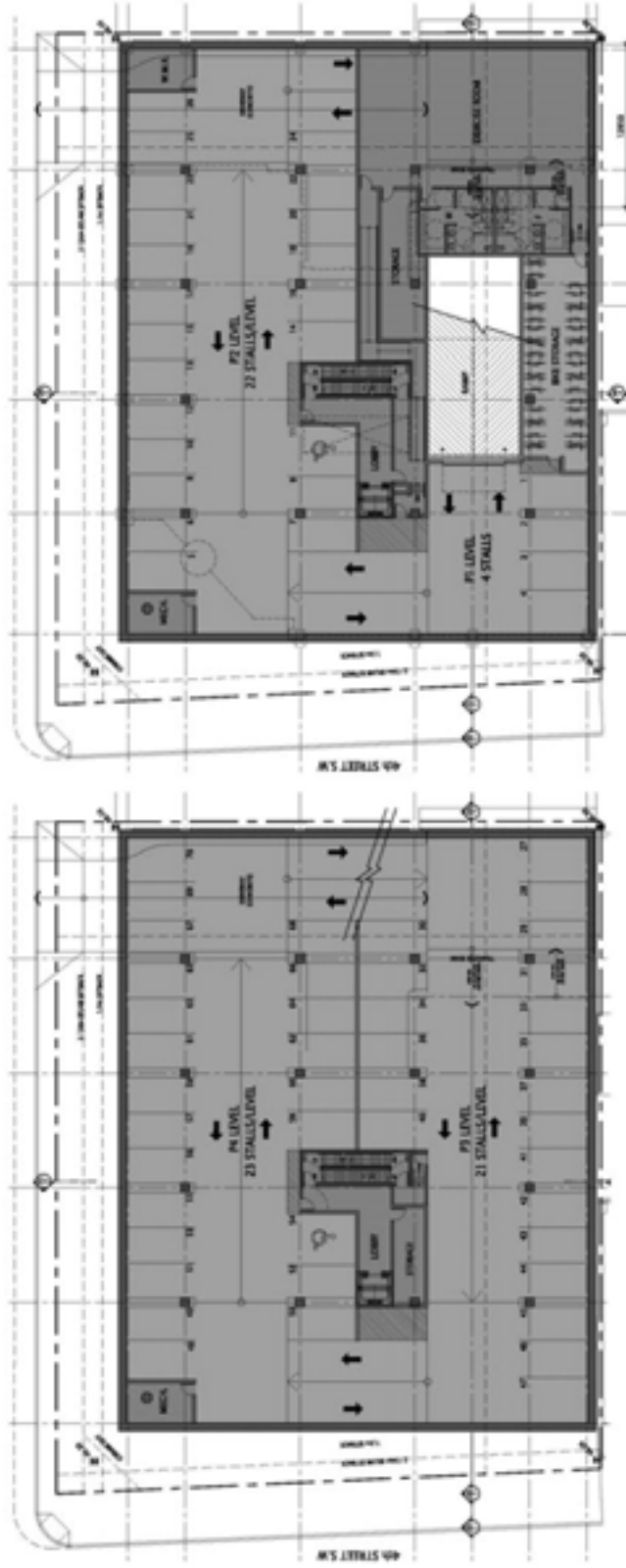
UNDERGROUND LEVEL P6 AND P5 (1:765 scale)

GENCO 1108

11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - PARKADES

DATE: 01/14/2008  
 PROJECT #: 2007048  
 PROJECT DIRECTOR: J.P.  
 DESIGNER: M.C.  
 SCALE: 1/8" = 1'-0"

7.4 DESIGN RESPONSE  
PARKADES



UNDERGROUND LEVEL P2 AND P3 (1:765 INT)

UNDERGROUND LEVEL P4 AND P3 (1:765 INT)

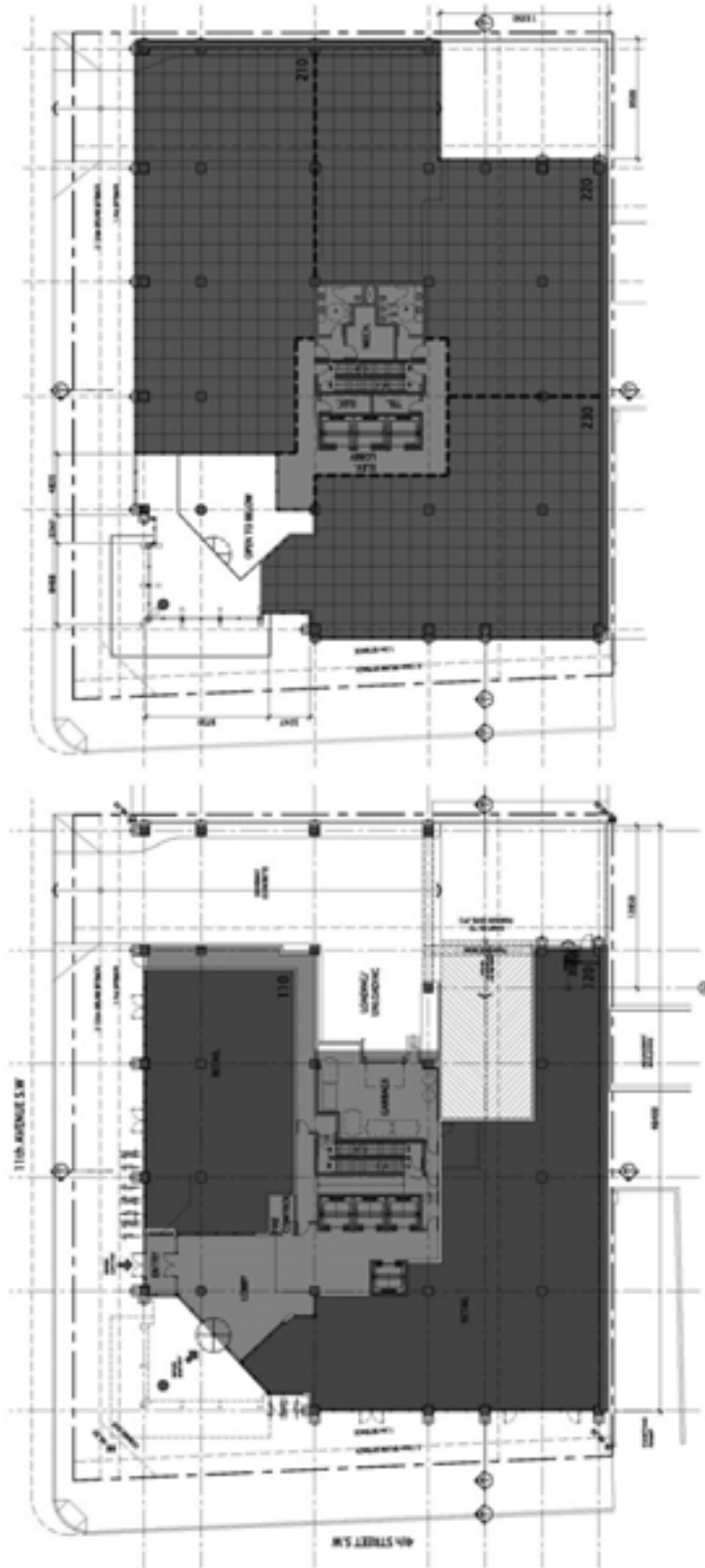
GENCO 1108

11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - PARKADES

DATE: 01/14/2008  
PROJECT NO: 2007085  
PROJECT DIRECTOR: J.P.  
DRAWING NO: 02  
SCALE: INT



7.4 DESIGN RESPONSE  
FLOOR PLANS



LEVEL 2 (1,487 sqm)

LEVEL 1 (1,110 sqm)

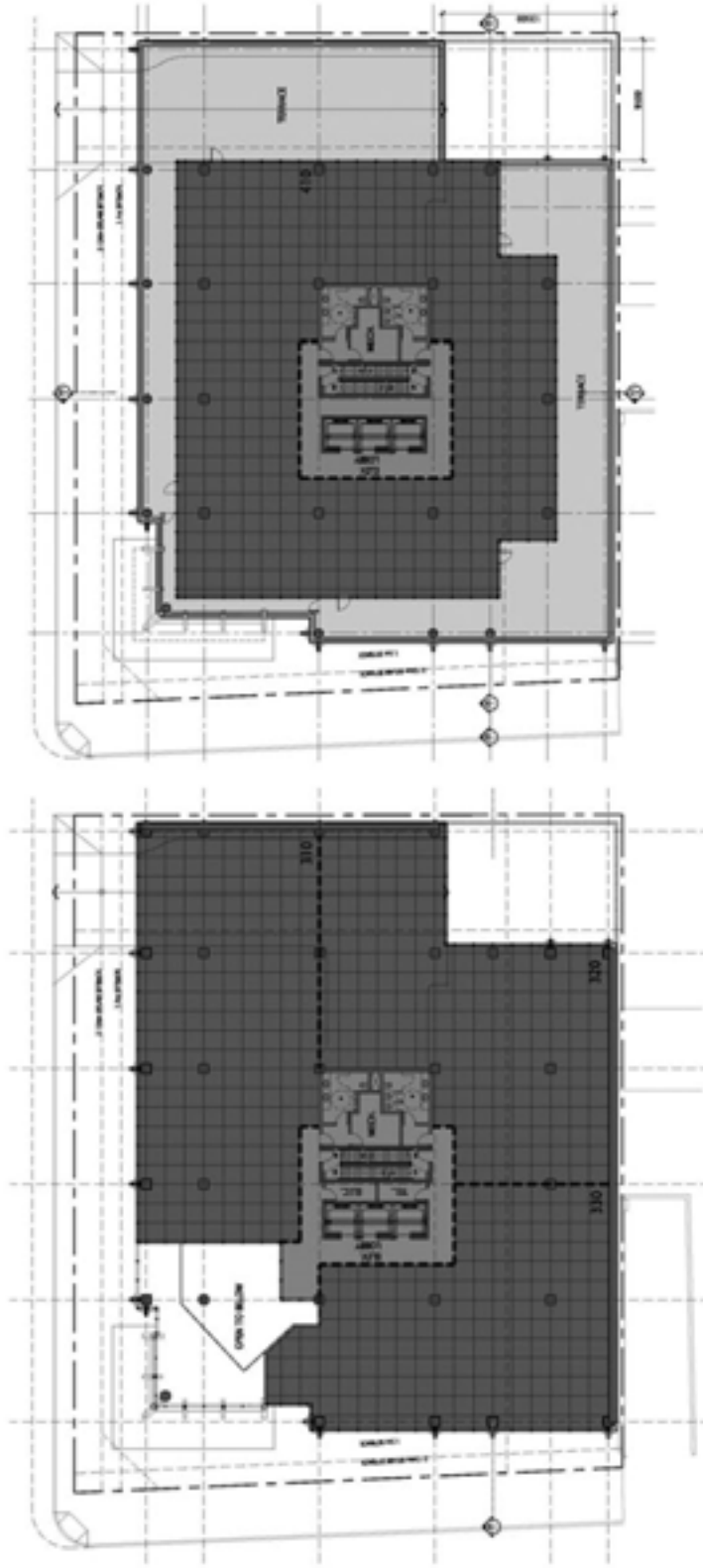
DATE: 01/14/2008  
 PROJECT NO: 2007-2199  
 PROJECT DIRECTOR: J.P.  
 DESIGNER: J.C.  
 SCALE: A1:1




**GENCO 1108**  
 11 AVE & 4 ST SW, CALGARY, ALBERTA  
 DESIGN RESPONSE - FLOOR PLANS



7.4 DESIGN RESPONSE  
FLOOR PLANS



LEVEL 4 (987 sqm)

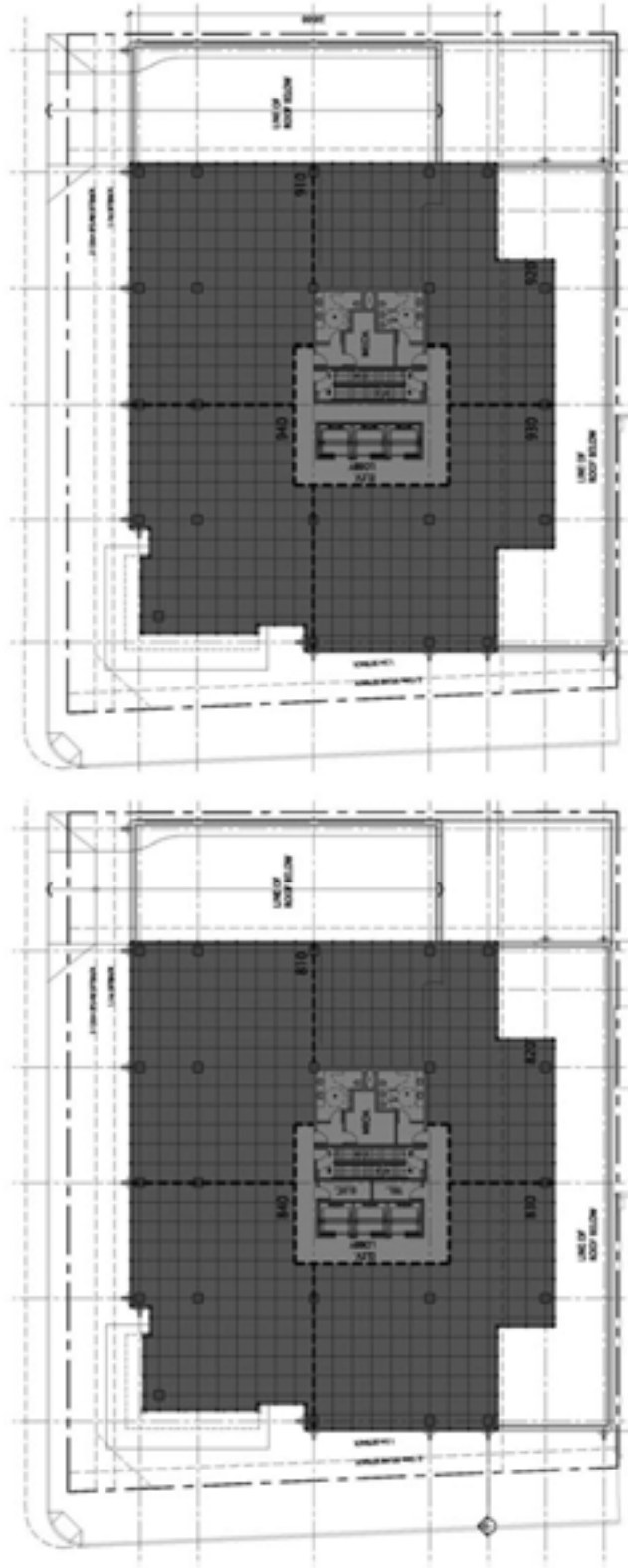
LEVEL 3 (1,486 sqm)

DATE: 01/14/2008  
PROJECT NO: 2007045  
PROJECT DIRECTOR: J.P.  
MARRAS P.E.  
SCALE: 1/8" = 1'-0"

**GENCO 1108**  
11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - FLOOR PLANS



7.4 DESIGN RESPONSE  
FLOOR PLANS





LEVEL 8 - CROSSOVER FLOOR (1,155 sqm)

LEVEL 8 - TYPICAL FLOOR PLAN (LEVEL 8 SHOWS) - Area ranges from 1,146 sqm to 1,165 sqm

GENCO 1108

11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - FLOOR PLANS

DATE: 01/14/2008  
 PROJECT #: 2007048  
 PROJECT DIRECTOR: J.P.  
 DESIGNER: B.C.  
 SCALE: A1:1

7.4 DESIGN RESPONSE  
FLOOR PLANS



LEVEL 15 (1,018 sqm)

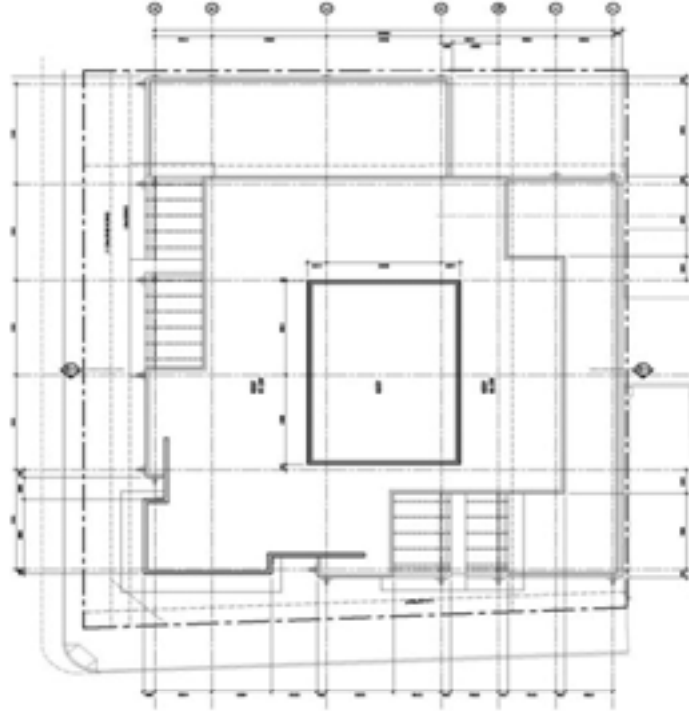
LEVEL 14 - CROSSOVER FLOOR (1,092 sqm)

DATE: 01/14/2008  
 PROJECT #: 2007045  
 PROJECT DIRECTOR: J.P.  
 DESIGNER: M.E.  
 SCALE: A1:1

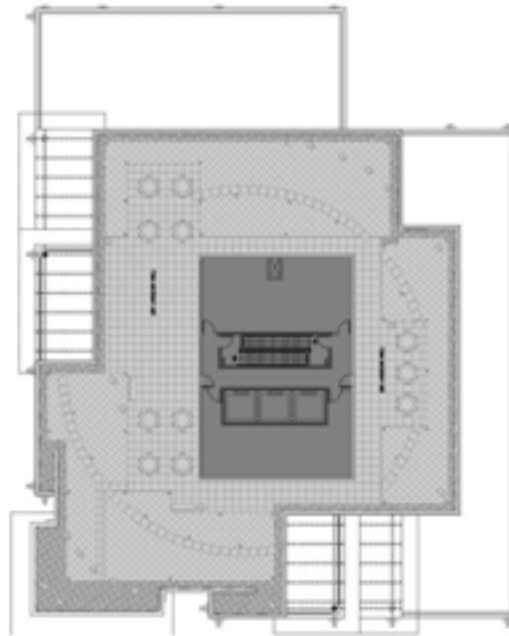


**GENCO 1108**  
 11 AVE & 4 ST SW, CALGARY, ALBERTA  
 DESIGN RESPONSE - FLOOR PLANS

7.4 DESIGN RESPONSE  
ROOF PLANS



ROOF



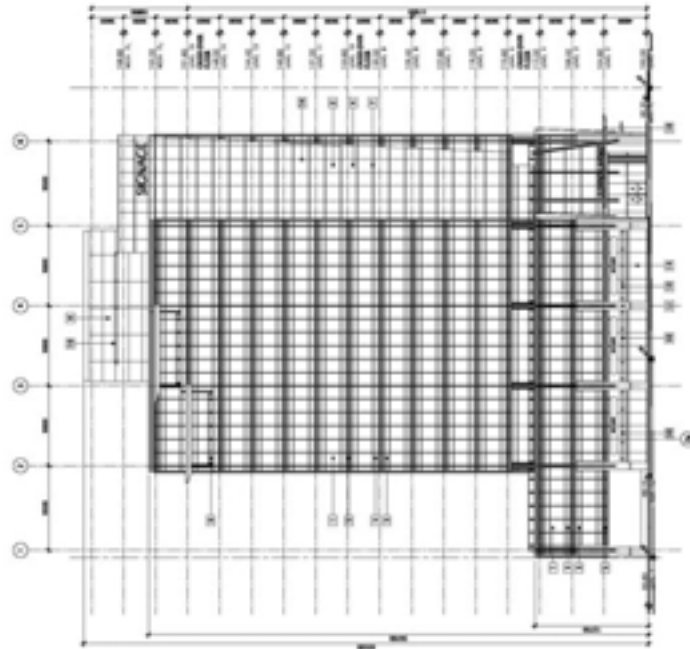
ROOFTOP TERRACE (209 1/4)

DATE: 01/14/2008  
 PROJECT #: 20070199  
 PROJECT DIRECTOR: J.P.  
 HARRIS, P.E.  
 SCALE: 1/8"=1'-0"

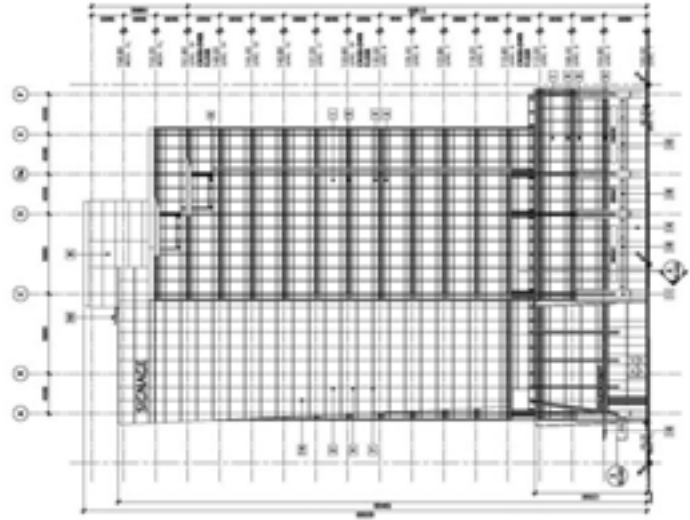


**GENCO 1108**  
 11 AVE & 4 ST SW, CALGARY, ALBERTA  
 DESIGN RESPONSE - ROOF PLANS

7.5 DESIGN RESPONSE  
ELEVATIONS



NORTH ELEVATION



WEST ELEVATION

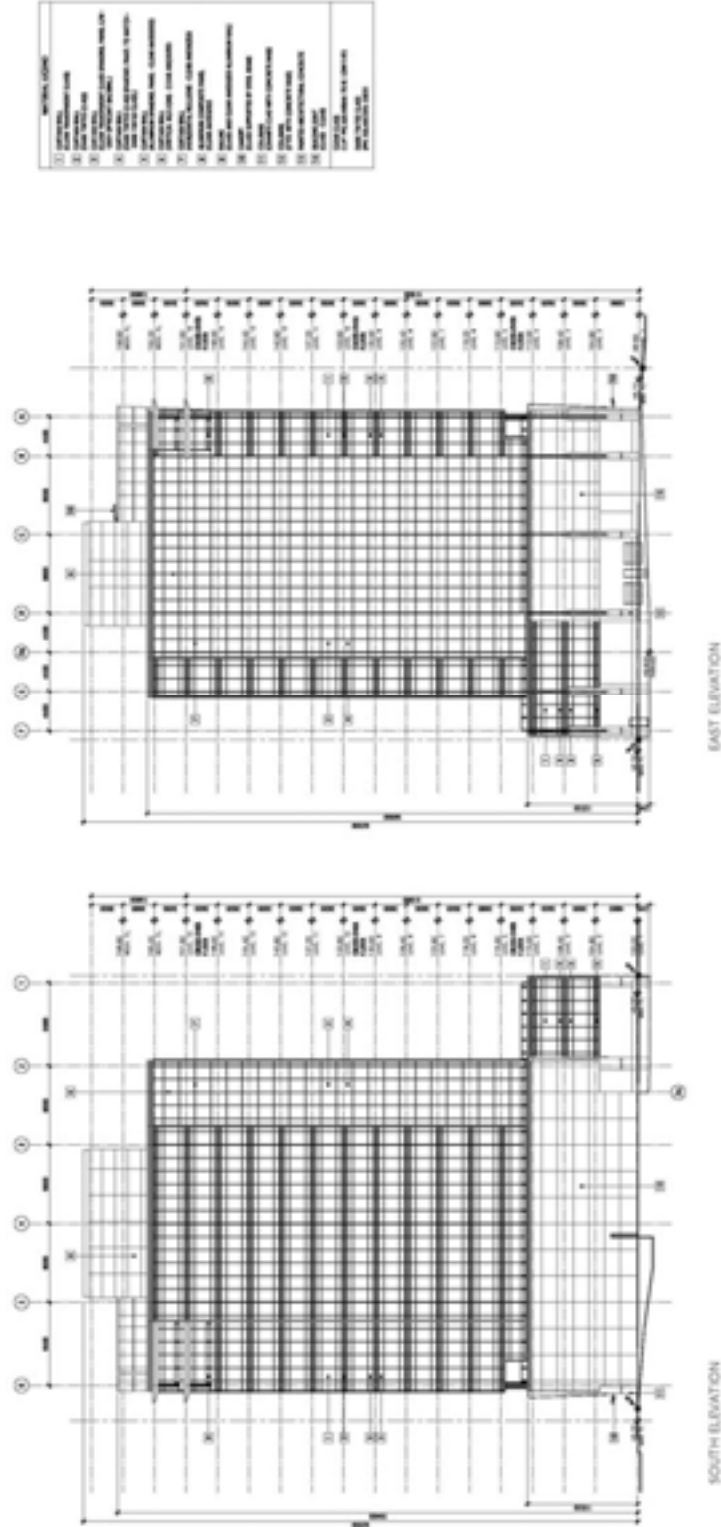
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100	SEE GENERAL NOTES

DATE: 01/14/2008  
 PROJECT #: 2007085  
 PROJECT DIRECTOR: J.P.  
 DRAWING NO.: 18  
 SCALE: 1/8" = 1'-0"




**GENCO 1108**  
 11 AVE & 4 ST SW, CALGARY, ALBERTA  
 DESIGN RESPONSE - ELEVATIONS

7.5 DESIGN RESPONSE  
ELEVATIONS



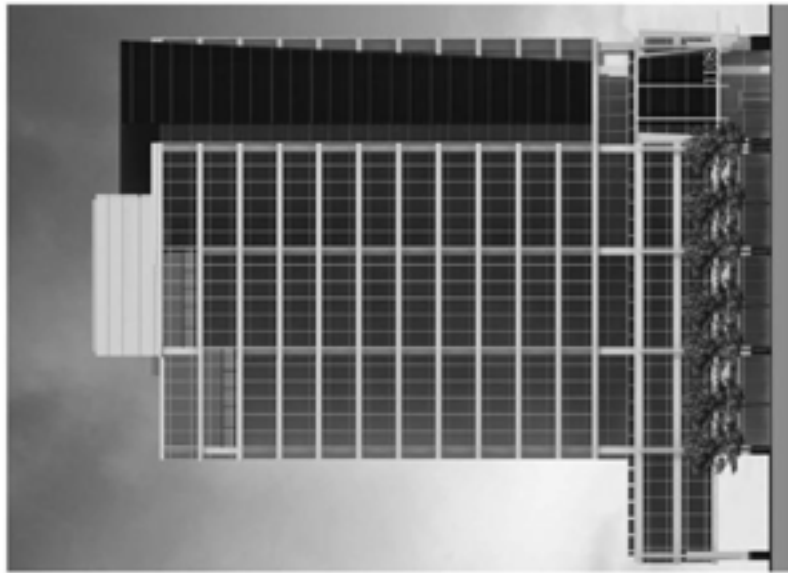
**GENCO 1108**  
11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - ELEVATIONS

DATE: 01/14/2008  
PROJECT #: 2007085  
PROJECT DIRECTOR: J.P.  
DRAWN BY: J.C.  
SCALE: 1/8"=1'-0"

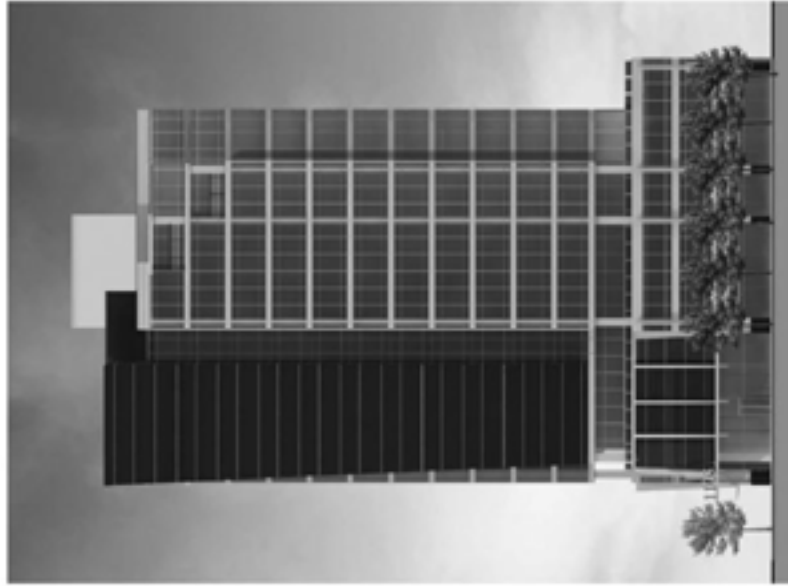


**19**

7.5 DESIGN RESPONSE  
ELEVATIONS



NORTH ELEVATION



SOUTH ELEVATION

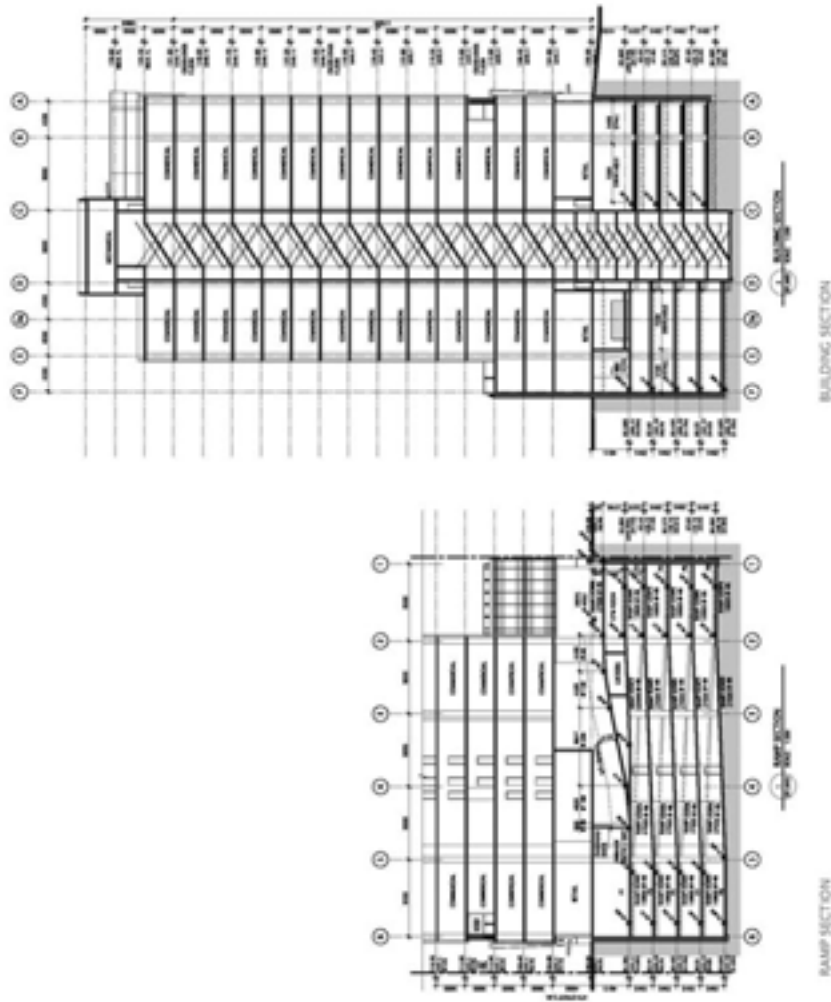
**GENCO 1108**  
 11 AVE & 4 ST SW, CALGARY, ALBERTA  
 DESIGN RESPONSE - ELEVATIONS

DATE: 01/14/2008  
 PROJECT #: 2007085  
 PROJECT DIRECTOR: J.P.  
 SHAWKIN, P.E.  
 SCALE: 1/8" = 1'-0"



20

7.6 DESIGN RESPONSE  
SECTIONS



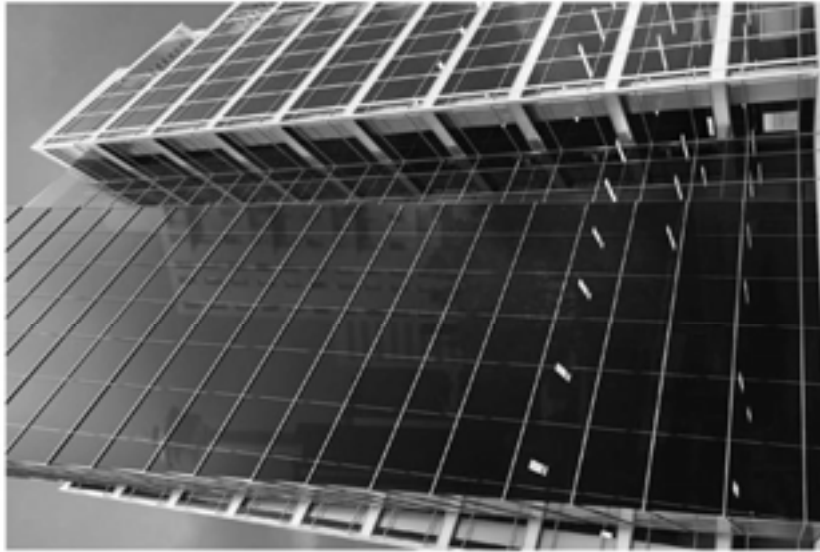
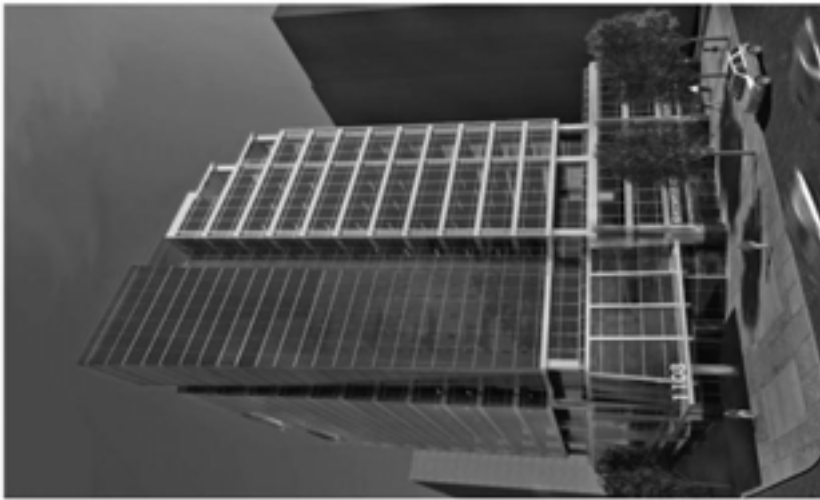
**GENCO 1108**  
11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - SECTIONS

DATE: 01/14/2008  
PROJECT #: 2007085  
PROJECT DIRECTOR: J.P.  
DRAWN BY: K.C.  
SCALE: 1/8"=1'-0"





7.7 DESIGN RESPONSE  
RENDERINGS

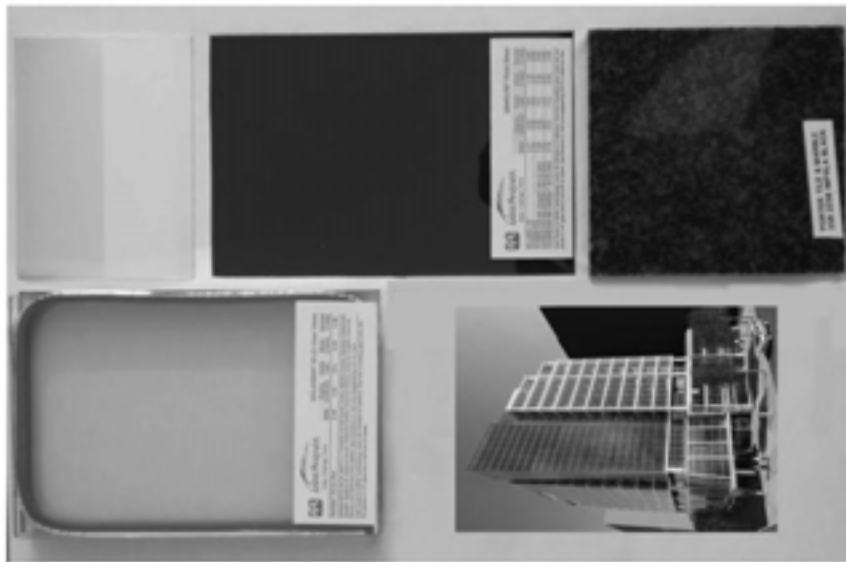


**GENCO 1108**  
11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - RENDERINGS

INTERIOR 1108  
 PROJECT # 200704  
 PROJECT ARCHITECT # 2  
 GARDNER INC.  
 SCALE 1/8" = 1'-0"




7.8 DESIGN RESPONSE  
MATERIALS



MATERIALS SELECTION

1	CURTAIN WALL / TRANSPARENT GLASS TYPE: CLEAR MODEL: INSULATED WIGGLE CLEAR GLASS
2	CURTAIN WALL / REFLECTIVE GLASS TYPE: LOW E MODEL: CHRYSLER FLUENT GLASS
3	ALUMINUM COMPOSITE PANEL / ALUMINUM-CLADDING CLADDING SYSTEM WITH ALUMINUM FINISH MODEL: LIMITED FINISH: CONCRETE CANTON
4	GRANITE CLAD COLUMNS TYPE: GRANITE MODEL: PORTER TILE & MARBLE FINISH: MARBLE BLACK

GENCO 1108

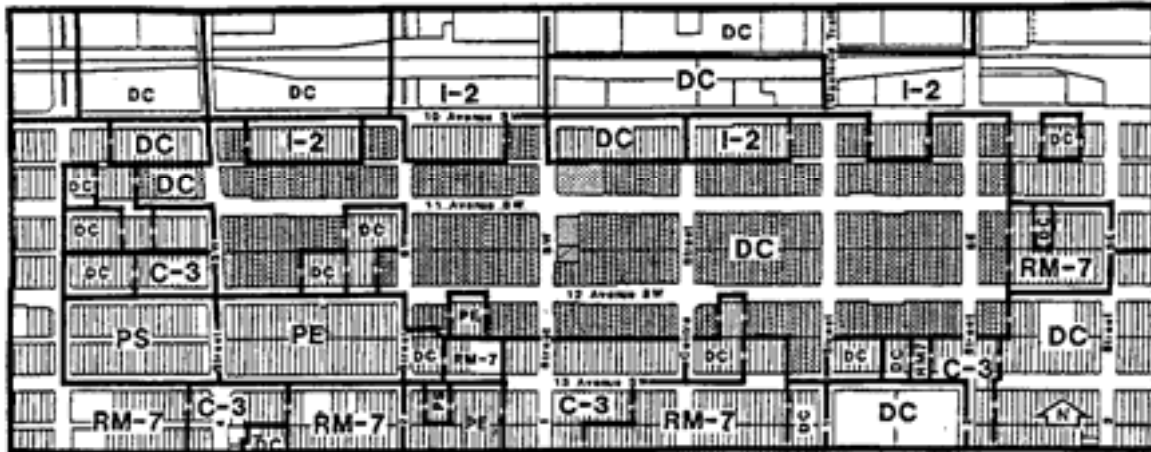
11 AVE & 4 ST SW, CALGARY, ALBERTA  
DESIGN RESPONSE - MATERIALS

DATE: 01/14/2008  
PROJECT #: 2007085  
PROJECT DIRECTOR: SP  
DRAWN BY: JC  
SCALE: 1/8"



**Amendment No. 84/050**  
**Bylaw No. 72Z84**  
**Council Approval: 10 October 1984**

## SCHEDULE B



### D.C.: DIRECT CONTROL DISTRICT DEVELOPMENT GUIDELINES

1. PERMITTED USES

Notwithstanding any other requirements of this Direct Control District and the City of Calgary Land Use By-law 2P80, public and separate schools built as of the date of the adoption of this by-law.

2. PERMITTED USE RULES

Notwithstanding any other requirement of this Direct Control District and the City of Calgary Land Use By-law 2P80, the rules for permitted uses contained in the City of Calgary Land Use By-law 2P80, Section 51, PE: Public Park, School and Recreation District shall apply.

3. DISCRETIONARY USES

- Accessory buildings
- Air-rights development
- Amusement arcades
- Apartment buildings
- Apartment-hotels
- Athletic and recreational facilities
- Auto body and paint shops
- Automotive sales and rental
- Automotive services
- Automotive specialities
- Billiard parlours

Child care facilities  
Commercial schools  
Community association buildings  
Drinking establishments  
Dwelling units  
Entertainment establishments  
Essential public services  
Financial institutions  
Grocery stores  
Home occupations  
Hotels  
Laboratories  
Light manufacturing  
Liquor stores  
Lodging houses  
Mechanical reproduction and printing establishments  
Medical clinics  
Offices  
Parking lots at grade  
Parking structures  
Parks and playgrounds  
Personal service establishments  
Private clubs and organizations  
Private schools  
Public and quasi-public buildings  
Public and separate schools  
Radio and television studios  
Restaurants  
Retail food stores  
Retail stores  
Signs  
Special care facilities  
Universities, colleges, provincial training centres  
Utilities  
Veterinary clinics

#### DISCRETIONARY USE RULES

The following rules shall apply:

a. Residential Buildings

In evaluating development projects involving dwelling units, the Approving Authority shall have due regard to the need to provide adequate building setbacks, landscaping and amenities.

b. Gross Floor Area

The maximum gross floor area shall be 8 times the site area.

c. Maximum Building Height

- i. A maximum of 45.8 metres if the proposed building is within 152.4 metres of the banks of the Bow River.

ii. No restrictions otherwise.

d. +15

Development must make provision for connection to and maintaining the continuity of the +15 system.

e. Parking

The provisions of Section 18 of the City of Calgary Land Use By-law shall apply except as follows:

- i. One stall per dwelling unit plus one stall per 139.4 square metres of commercial net floor area.
- ii. Should the Approving Authority deem it advisable, it may accept a payment-in-lieu of the on-site or off-site parking requirements based on the amount of monies necessary to construct the required number of parking stalls in a parking structure at the time of approval.
- iii. Provision of on-site parking must not disrupt the continuity of any pedestrian system.
- iv. All at-grade parking stalls shall be landscaped and screened to the satisfaction of the Approving Authority.

f. Site Access

Except for emergency purposes, no vehicular access is allowed from 7th and 8th Avenue South and any vehicular access elsewhere shall be so designed as to create minimum disruption of traffic flows.

g. Building Finishes

All buildings shall have finishes which normally will not require reapplication during the life of the building and are an integral part of the cladding of the development.

h. Building Orientation

Building orientation shall be such as to create minimal adverse impacts on surrounding properties with regard to wind, shadowing, sound and ventilation of mechanical floors.

i. Garbage Storage

Garbage shall

- i. be stored in weatherproof and animal-proof containers,
- ii. be screened from adjacent sites and public thoroughfares,
- iii. be in a location readily accessible for pick-up,
- iv. comply with the provisions of the Waste By-law, and

- v. be provided with a storage area sufficient for 3 days' accumulation of refuse.
- j. **Outside Storage**  
No outside storage shall be allowed.
- k. **Loading**
  - i. The provisions of Section 18 of the City of Calgary Land Use By-law shall apply.
  - ii. Notwithstanding the requirements of Section 18, the following rules shall apply:
    - A. Restaurants and drinking establishments or theatres require a minimum of 1 loading space.
    - B. Retail, commercial, business and hotel developments require 1 space for the first 2320 square metres of usable floor area and 1 space for each 4640 square metres of usable floor area or portion thereof.
    - C. Residential developments require 1 space for the first 100 dwelling units plus 1 space for each additional 200 dwelling units or portion thereof.
- l. Unless the Approving Authority otherwise allows, all operations involved in carrying on a public garage or an auto body and paint shop, including
  - i. the parking of motor vehicles awaiting repair or painting or, having been repaired or painted, awaiting collection, and
  - ii. the storage of motor vehicle parts,shall be carried on within a building which shall be sufficiently sound-insulated to confine the noise to the premises, and any flashing, fumes, gases, smoke and vapour created on the premises shall be effectively confined to the premises.
- m. The assembly or production of ornamental metal works shall be carried on only in connection with or accessory to the retail or display of such ornamental metal.
- n. Notwithstanding the definition of a veterinary clinic in the City of Calgary Land Use By-law 2P80, a veterinary clinic shall not be used for boarding animals.
- o. Provision must be made in the structure of any new building to support any future plazas or pedestrian bridges which are required to ensure the continuity of the +15 system.

## 5. CONDITIONS OF DEVELOPMENT

In addition to the land use rules for Discretionary Uses contained in Section (4) above, the Approving Authority may impose conditions on a development permit as provided for in Section 11(2)(a)(i) of the City of Calgary Land Use By-law 2P80.



Box 97, Suite 100, 1039 17<sup>th</sup> Avenue SW  
Calgary, Alberta  
T2T 2B2  
(403) 670-5499 ext. 3

July 11, 2007

DP2007-2199 1108 4 Street SW Genco 4

Dear Mona,

Following a presentation from Poon McKenzie Architects, Beltline Planning Group would like to express its strong support for this development permit. BPG believes the design is consistent with the policies and intent of both the Blueprint for the Beltline and the Beltline Area Redevelopment Plan.

BPG members were encouraged by the active retail uses at grade, strong corner element, high quality materials, and articulation of the façade.

The servicing, parking and loading is appropriately sited off 11<sup>th</sup> Avenue to maintain the more pedestrian nature of 4<sup>th</sup> Street SW. As an important pedestrian corridor to and from downtown, BPG feels that 4<sup>th</sup> Street SW is a strong candidate for significant streetscape enhancements in the future, and the design of this project facilitates consideration for streetscape enhancements. The setback and building features such as glass canopies and arcade will provide a pedestrian friendly environment.

Regarding the outdoor terrace spaces on the 4<sup>th</sup> level, the applicant indicated the potential for plantings and other greening of this space. However, BPG feels it is appropriate that the candidate include a landscaping plan for this space. Vegetation would be visible from the ground level would add visual interest to the project. A true green roof would also have environmental benefits.

Sincerely,

Josh White  
Community Planner  
Beltline Planning Group

**SUSTAINABLE DESIGN FEATURES****Genco 4 Office Tower**1108, 11<sup>th</sup> Avenue SW, Calgary**DP 2007-2199**

PMA File: 2007.003 (2.6)

1. **Sustainable Sites** - Avoid development of inappropriate sites and reduce the environmental impact from the location of a building on a site.
  - **Site Selection** - Previously developed site to avoid development of inappropriate sites and reduce the environmental impact from the location of a building on a site
  - **Development Density** - Channel development to urban area with existing infrastructure, protect green-fields and preserve habitat and natural resources.
  - **Alternative Transportation** - Reduce pollution and land development impacts from automobile use.
  - **Public Transportation Access** - Building locates within 800 metres of 12 LRT stations and 400 metres of 12 public bus lines offering frequent service. (see enclosed maps)
  - **Bicycle Storage & Changing Rooms** - Building provides Class 1 & 2 bicycle storage to meet Calgary city requirement, with convenient change rooms/shower facilitate in the parkade.
  - **Stormwater Management: Rate and Quantity** - the existing imperviousness is greater than 50%, a stormwater management plan resulting in a 25% decrease in the rate and quantity shall be developed.
  - **Heat Island Effect: Roof** - proposed "green" (vegetated) roof for at least 50% of the roof area.
  - **Light Pollution Reduction** - eliminate light trespass from the building and site.
2. **Water Efficiency**
  - **Water Efficient Landscaping** - reduction of the use of potable water for landscape irrigation by 50%.
  - **Water Use Reduction: 20%** - By using plumbing fixtures that meet or exceed fixture performance requirements.
3. **Energy & Atmosphere**
  - **Minimum Energy Performance** - reduce the design energy consumption to comply with CBIP requirement for a 25% reduction.
4. **Materials & Resources**
  - **Storage and Collection of Recyclables** - provision of area for separation, collection and storage of materials for recycling.
5. **Indoor Environmental Quality**
  - **Minimum IAQ Performance** - meet minimum indoor air quality performance by complying with Sections 4, 5, 6 and 7 of ASHRAE 62-2001.
  - **Environmental Tobacco Smoke Control** - the building is smoke free.
  - **Carbon Dioxide Monitoring** - install a permanent CO<sub>2</sub> monitoring system
  - **Ventilation Effectiveness** - design the HVAC system and building envelope to optimize air change effectiveness.
  - **Low-Emitting Materials** - Low-VOC materials including adhesives/sealants, paints/coating, carpet, and composite wood/laminate adhesives shall be specified in the construction documents.
  - **Controllability of Systems** - Provide a high level of thermal, ventilation and lighting system control for perimeter and non-perimeter spaces.
  - **Thermal Comfort Compliance** - establish comfort criteria per the standard and design the building envelope and HVAC system to maintain these comfort ranges.



**ITEM NO. : 3**  
(3:30 pm)

**Mona Ha**

FILE COPY

**COMMUNITY:**

BELTLINE

**FILE NUMBER:**

DP2007-2199

**MUNICIPAL ADDRESS:**

1108 - 4 Street SW

**APPLICANT:**

Poon Mckenzie Architects

**DESCRIPTION:**

Commercial Office Building with Retail at Grade  
CBE Education Centre

**Comments Provided by the Panel:**

- The Panel is very impressed with the presentation of the project and the completeness of the documents;
- The Panel is concerned that the architectural expression of the building and the landscape design are not complimentary, and encourages the applicant to redesign the hard/soft landscaping to reflect the high quality of the building architecture;
- The Panel recommends that the protruding base at the main entry area columns be reduced in size to minimize the potential of the public utilizing the tops of these bases for refuse placement as well as to become more proportional with the delicate columns which they support;
- The Panel is concerned that the steel braces supporting the entry canopy will be dangerous to pedestrians (low head room) and that they either are anchored to the columns a safe distance above the sidewalk or completely removed and the canopy slung with supports from above;
- The Panel encourages the Applicant to introduce as many entrances into the retail shops as possible so as to encourage a high number and variety of smaller retailers rather than large tenants that require only one entry; and
- The Panel is concerned with the lack sustainable initiatives and encourages the applicant to incorporate as many sustainable features as possible.

AUG-01-2007 10:05

ROTARY CLUB OF CALGARY



# The City of Calgary

## DEVELOPMENT AND BUILDING APPROVALS #8108



### REQUEST FOR COMMENT ON DEVELOPMENT PERMIT APPLICATION

Date: July 11, 2007

To: BRZ - Victoria Crossing BRZ  
Mr. David Low  
310, 1202 Centre St S  
Calgary, Alberta  
T2G 5A5

**Return To:** Development Circulation Controller  
Development and Building Approvals #8073  
P.O. Box 2100 Station M  
Calgary AB T2P 2M5  
Phone: 268-5482 Fax 268-1997  
EMail: DP.Circ@calgary.ca

D.P. NUMBER: DP2007-2199	ADDRESS: 1108 4 ST SW
Commercial Office Building (with retail at grade)	

To acknowledge receipt of this material and to avoid unnecessary delays, please check one of the boxes below and fax this sheet back to us immediately at 268-1997.



No Comment



Comments to Follow

NAME

DAVID LOW

DATE

01 109/07

Attached are the proposed plans and application material for this Development Permit. If you have any comments, please forward them by [REDACTED] Wednesday August 1, 2007 to the above sender.

If you want to discuss this application further, please contact the File Manager:

Mona Ha (403) 268-5032 mona.ha@calgary.ca

This Development Permit Application has been circulated to the following parties:

Kathy O'Neill, Enmax Power Corporation,

Planning Chair, Beltline Planning Group, Box 97, Suite 100, 1039-17th Avenue SW

Madeleine King, Ward 8 Alderman, #8001

Mr. David Low, BRZ - Victoria Crossing BRZ, 310, 1202 Centre St S

Commercial Controller, Development & Building Approvals

Ken Prusky, Fire

Please note that any written submissions made in response to this application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.