

**515 and 525 Chaplin Crescent – Rezoning Application- Preliminary Report**

<b>Date:</b>	February 18, 2010
<b>To:</b>	North York Community Council
<b>From:</b>	Director, Community Planning, North York District
<b>Wards:</b>	Ward 16 – Eglinton-Lawrence
<b>Reference Number:</b>	09 199580 NNY 16 OZ

**SUMMARY**

This application was made on December 23, 2009 and is subject to the new provisions of the *Planning Act* and the *City of Toronto Act, 2006*.

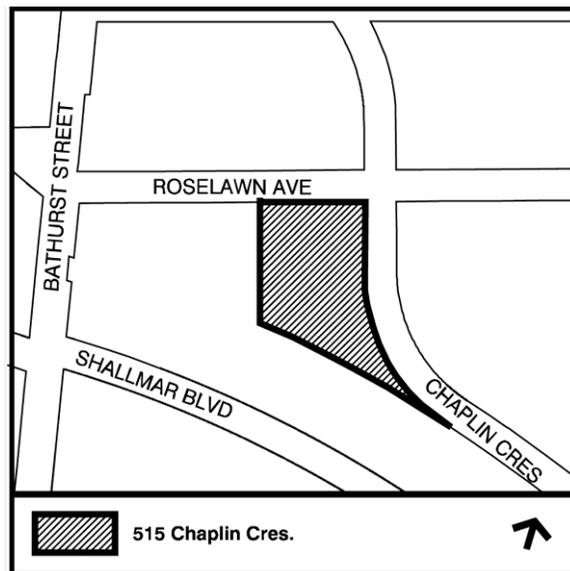
This application proposes an addition to the existing 8 storey rental building at 515 Chaplin Crescent by demolishing 18 units, and adding 28 rental units and 36 condominium units. The site is located on the south west corner of Roselawn Avenue and Chaplin Crescent. The site currently contains two existing 8 storey apartment buildings.

This report provides preliminary information on the above-noted application and seeks Community Council's directions on further processing of the application and on the community consultation process. It is intended that the community consultation meeting be held in the spring of 2010.

**RECOMMENDATIONS**

**The City Planning Division recommends that:**

1. Staff be directed to schedule a



- community consultation meeting together with the Ward Councillor.
2. Notice for the community consultation meeting be given to landowners and residents within 120 metres of the site.
  3. Notice for the public meeting under the *Planning Act* be given according to the regulations of the *Planning Act*.

### **Financial Impact**

The recommendations in this report have no financial impact.

### **Pre-Application Consultation**

A pre-application consultation meeting was held with the applicant to discuss complete application submission requirements.

## **ISSUE BACKGROUND**

### **Proposal**

The proposed development is for an infill residential building on the properties municipally known as 515 and 525 Chaplin Crescent. The site is currently occupied by two 8-storey rental apartment buildings that contain a total of 221 units.

The applicant is proposing to redevelop and expand a portion of the existing southern building at 515 Chaplin Crescent. A corner of the existing building would be demolished, resulting in 18 rental units temporarily lost. The applicant is proposing to construct a 14-storey addition to the south side of the existing 8 storey building. The renovated building will contain a total of 285 units (249 rental units and 36 condominium units). The proposed development would result in a net increase of 28 rental units on the site.

The expanded building would consist of a base that is 8 stories in height and integrated with the existing building, with a glass six-storey addition above. The applicant is proposing to add an additional 8,223 m<sup>2</sup> of GFA to the existing development, for a total GFA of 26,645 m<sup>2</sup>. The overall density including the proposed building and the existing building would be 3.9 times the area of the lot.

Vehicular access and parking would be co-ordinated for the entire site using existing access points from Chaplin Crescent. However, the existing driveways and ramps to the underground parking will be re-configured. The applicant is proposing to construct a new three level garage under the new portion of the building, providing a total of 273 underground parking spaces. The eight existing surface parking spaces would be removed. Loading is to be provided to the south of the building, and the existing surface garbage area would be relocated and integrated within the new building.

	515 Chaplin Crescent	525 Chaplin Crescent
Existing number of units	110	111
Number of units to be demolished	18	n/a
Proposed number of new rental units	46	n/a
Proposed number of condo units	36	n/a
Total number of units after completion	174 ( net increase of 28 rental units, 64 units in total)	111 (unchanged)
Existing GFA	9211 m <sup>2</sup>	9211 m <sup>2</sup>
Proposed additional GFA	8223 m <sup>2</sup>	n/a
Total GFA	17,434 m <sup>2</sup>	9211 m <sup>2</sup>

Additional site statistics are provided on the Application Data Sheet on Attachment 7.

## Site and Surrounding Area

The subject lands are located on the southwest corner of Roselawn Avenue and Chaplin Crescent. The site currently contains two 8-storey apartment buildings containing 221 rental units. The lands have an area of approximately 6,799 m<sup>2</sup> with a frontage of 66 metres and a depth of 110 metres.

Land uses surrounding the site are as follows:

North: Directly north of the site is the 9-storey Dorothy Klein Seniors Residence. To the northeast of the site there is a 13-storey apartment building fronting Roselawn Avenue.

South: Directly south is the Kay Gardiner Beltline Park. Further south there are two 10-storey apartment buildings on Shallimar Boulevard.

East: Memorial Park and a 13 storey apartment building.

West: 5-storey apartment building.

## Provincial Policy Statement and Provincial Plans

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. One key objective is to build strong communities by: achieving efficient development and land use patterns; providing

for an appropriate range of housing types and densities; promoting healthy, active communities and safe public spaces for pedestrians; and optimizing use of existing infrastructure. City Council's planning decisions are required to be consistent with the PPS.

The Growth Plan for the Greater Golden Horseshoe provides a framework for managing growth in the Greater Golden Horseshoe. It includes directions for where and how to grow and how to provide the infrastructure to support that growth. City Council's planning decisions are required to conform, or not conflict, with the Growth Plan for the Greater Golden Horseshoe.

Staff will review the proposed development for consistency with the PPS and for conformity with the Growth Plan for the Greater Golden Horseshoe.

### **Official Plan**

The City of Toronto Official Plan designates the subject lands *Apartment Neighbourhoods*. *Apartment Neighbourhoods* consist of apartment buildings, parks and small-scale retail and service uses. The policies provide criteria for development in existing *Apartment Neighbourhoods*, and directions for achieving compatible infill on underutilized sites containing existing apartments.

The Official Plan also contains Built Form, Public Realm and Tall Building policies by which the proposal will be assessed. These policies determine matters such as appropriate height, scale, massing, site organization, contextual fit and quality of public spaces.

On sites of existing rental units, the Official Plan also includes housing policies to secure the existing rental housing and needed improvements where significant new development is proposed.

### **Zoning**

The subject lands are zoned R2 Z2.0 by the former City of Toronto Zoning By-law 438-86. This zoning permits apartment buildings having a density up to 2.0 times the area of the lot. The zoning by-law permits a maximum building height of 34 metres.

### **Site Plan Control**

A Site Plan Control application will be required as part of the development but has not yet been submitted.

## **Tree Preservation**

The application is subject to the City of Toronto Private Tree By-law and a Tree Inventory Report has been prepared and submitted with the application.

## **Rental Housing Demolition**

The Rental Housing Demolition and Conversion By-law (885-2007), contained in Chapter 667 of the City's Municipal Code, implements the City's Official Plan policies protecting rental housing. The By-law prohibits demolition or conversion of rental housing units without obtaining a permit from the City issued under Section 111 of the City of Toronto Act.

Applications under Chapter 667 for rental demolition are typically handled concurrently with an application to amend the Zoning By-law and City Council may decide on both applications at the same time. Unlike Planning Act applications, City Council decisions to approve or refuse demolitions are not subject to any appeal to the OMB.

The proposal involves the demolition of a portion of the existing building at 515 Chaplin Crescent and the temporary loss of 18 units during construction. The applicant is proposing 28 additional new rental units. A Housing Issues Report has been submitted in support of the the Zoning By-law Amendment application. However a Tenant Assistance and Relocation Plan that outlines how the current tenants will be assisted and information regarding consultation with tenants about the proposed demolition is required. An application under Section 111 of the *City of Toronto Act* will be required for permission to demolish any rental housing units and has not been filed.

## **Toronto Green Development Standards**

The Toronto Green Standard and Green Roof By-law came into force and effect on January 31, 2010. The applicant will be required to meet Tier 1 of the Toronto Green Standard and measures required to meet this standard will be secured through the Site Plan Control process.

## **Reasons for the Application**

The proposed development does not meet By-law 438-86 with respect to development standards including density and height.

## **COMMENTS**

### **Application Submission**

A Notification of Complete Application was issued on January 20, 2010.

The following reports/studies were submitted with the application:

- Architectural Drawings
- Landscape Drawings
- Shadow Studies
- Pedestrian Wind Study
- Planning Rationale Report (including rental housing information)
- Housing Issues Report
- Functional Servicing Report
- Traffic and Parking Study
- Arborist Report and Tree Preservation Plan

### **Issues to be Resolved**

On a preliminary basis, matters to be addressed include, but are not limited to the following:

- 1) density, height, massing;
- 2) location and organization of the proposed building and it's relationship to the existing buildings and neighbouring properties;
- 3) adequate sunlight, privacy, areas of landscaped open space and amenity area provided;
- 4) sunlight and wind conditions for pedestrians on adjacent streets, parks and open spaces including the Kay Gardiner Beltline Park;
- 5) the adequacy and appropriateness of outdoor residential amenity space;
- 6) issues related to the protection and possible replacement of existing rental housing units;
- 7) details of a Tenant Assistance and Relocation Plan;
- 8) potential Section 37 Community Benefits should the application be recommended for approval;
- 9) adequate parking and access for vehicles and pedestrians into and through the site.
- 10) review of the proposal to identify sustainable development opportunities as outlined in the Toronto Green Standard, adopted by City Council in July 2006

Additional issues may be identified through the review of the application, agency comments and the community consultation process.

## **CONTACT**

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## **SIGNATURE**

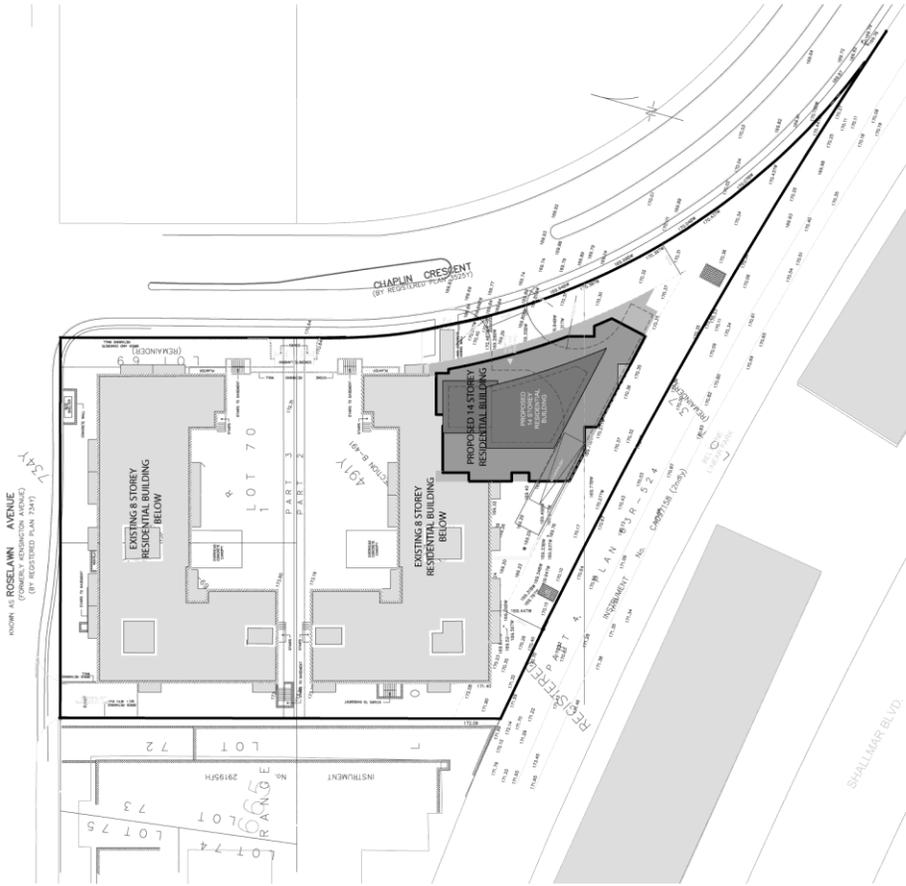
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Thomas C. Keefe, Director  
Community Planning, North York District

## **ATTACHMENTS**

Attachment 1: Site Plan  
Attachment 2: Elevations  
Attachment 3: Elevations  
Attachment 4: Elevations  
Attachment 5: Elevations  
Attachment 6: Zoning  
Attachment 7: Application Data Sheet

# Attachment 1: Site Plan



**Site Plan**

Applicant's Submitted Drawing

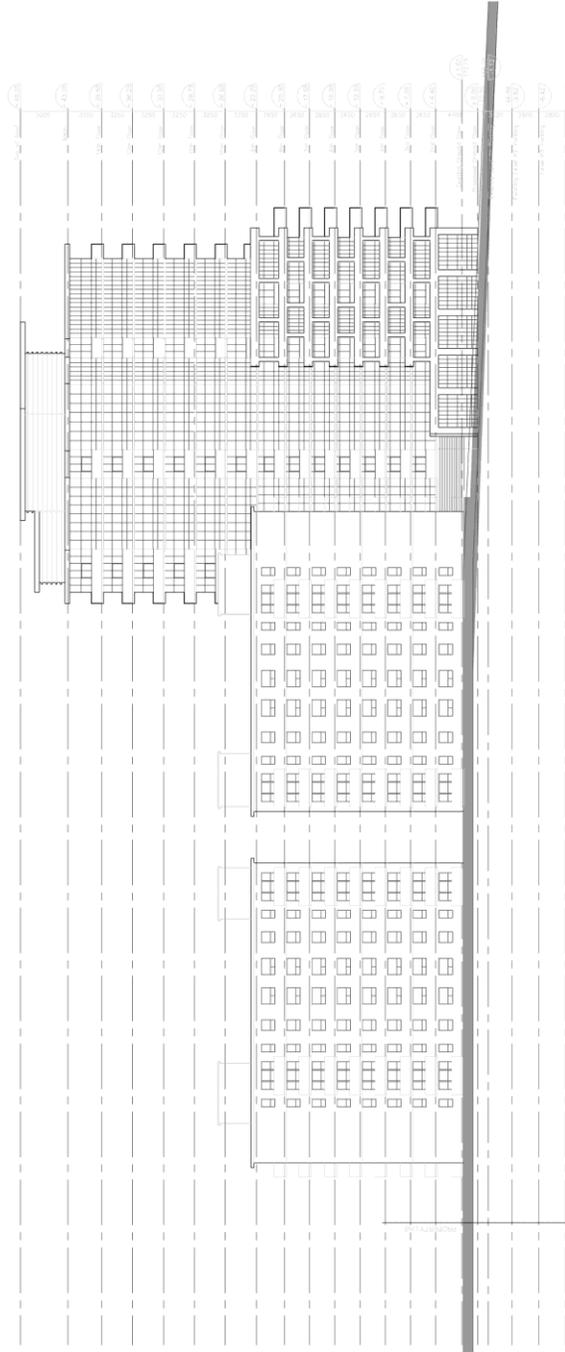
Not to Scale  
02/01/2010



**515 Chaplin Cres.**

File # 09\_199580

## Attachment 2: Elevations



West Elevation

### Elevations

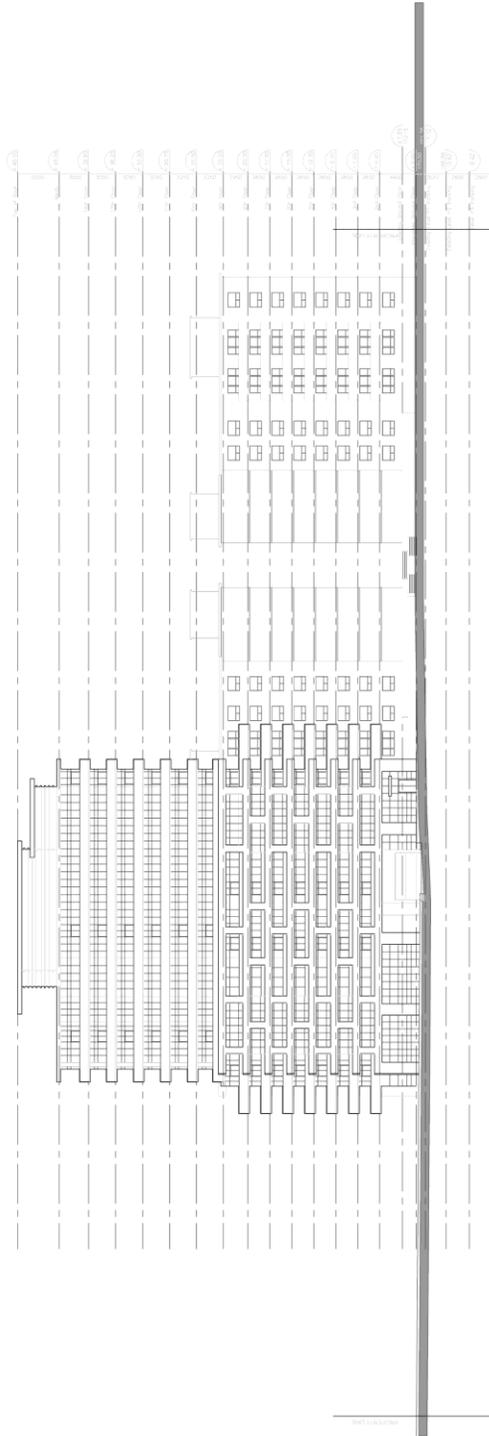
515 Chaplin Cres.

Applicant's Submitted Drawing

Not to Scale  
02/01/2010

File # 09\_199580

**Attachment 3: Elevations**



East Elevation

**Elevations**

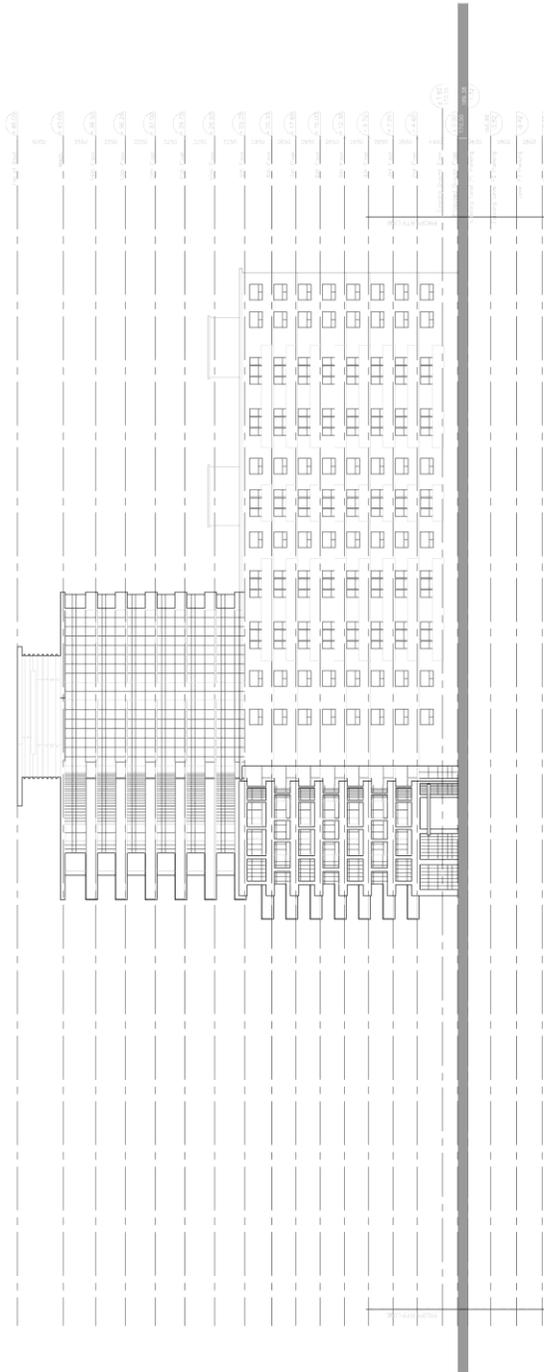
**515 Chaplin Cres.**

Applicant's Submitted Drawing

Not to Scale  
02/01/2010

File # 09\_199580

**Attachment 4: Elevations**



North Elevation

**Elevations**

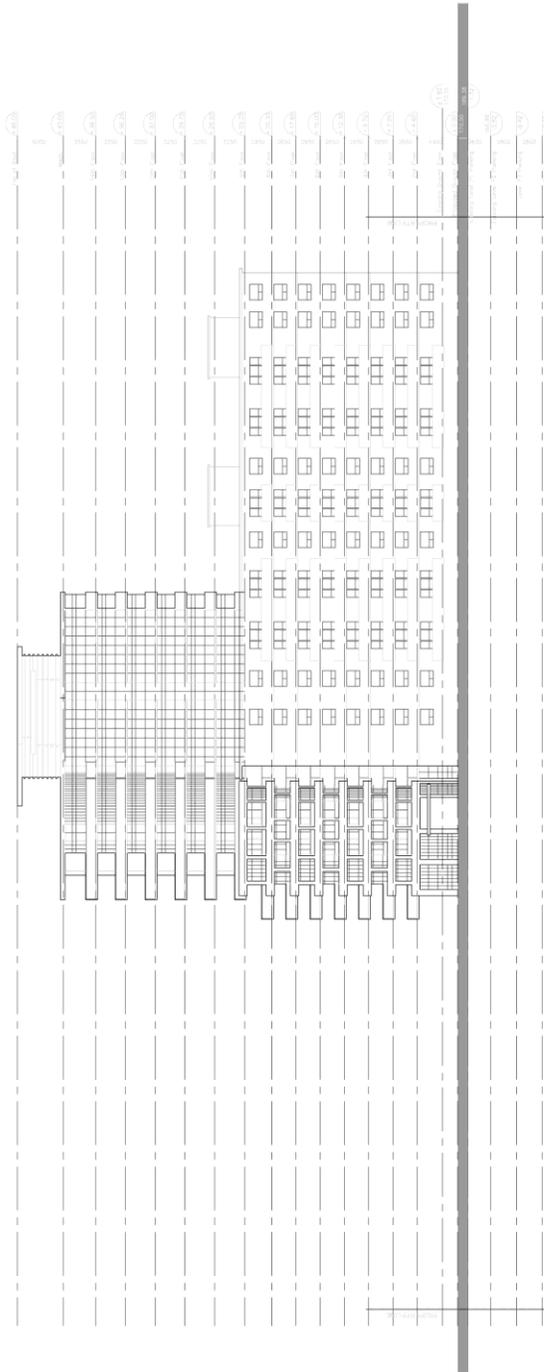
Applicant's Submitted Drawing

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02/01/2010

**515 Chaplin Cres.**

File # 09\_199580

**Attachment 5: Elevations**



North Elevation

**Elevations**

Applicant's Submitted Drawing

Not to Scale  
02/01/2010

**515 Chaplin Cres.**

File # 09\_199580

# Attachment 6: Zoning



**City of Toronto**  
City Planning  
**Zoning**

**515 Chaplin Cres.**  
File # 09\_199580

- R1 One-Family Detached Dwelling First Density Zone
- R2 One-Family Detached Dwelling Second Density Zone
- R3 One-Family Detached Dwelling Third Density Zone
- R4 One-Family Detached Dwelling Fourth Density Zone

- RM3 Multiple-Family Dwellings Third Density Zone
- RM6 Multiple-Family Dwellings Sixth Density Zone
- G Greenbelt Zone

NOTE: Numbers in Brackets Denote Exceptions to the Zoning Category

Not to Scale  
Zoning Bylaw 7625  
Extracted 01/29/2010



## Attachment 7: Application Data Sheet

### APPLICATION DATA SHEET

Application Type	Rezoning	Application Number:	09 199580 NNY 16 OZ
Details	Rezoning, Standard	Application Date:	December 23, 2009

Municipal Address: 515 CHAPLIN CRES  
 Location Description: PL 734 PT LTS 69 TO 71 PL 491 PT LTS 37 & 38 RP 66R335 LTS 1 & 2 \*\*GRID N1606  
 Project Description: Intensify the existing residential development by expanding the southerly building into an under-used area of the property, adjacent to the Beltline trail, a net increase of 64 units.

<b>Applicant:</b>	<b>Agent:</b>	<b>Architect:</b>	<b>Owner:</b>
CATHERINE GRAVELY			ELDEBRON HOLDINGS LIMITED

#### PLANNING CONTROLS

Official Plan Designation:	Apartment Neighbourhood	Site Specific Provision:
Zoning:	R2 Z2.0	Historical Status:
Height Limit (m):		Site Plan Control Area:

#### PROJECT INFORMATION

Site Area (sq. m):	6798.7	Height:	Storeys:	14
Frontage (m):	66		Metres:	43
Depth (m):	110.1			
Total Ground Floor Area (sq. m):	3140.5			<b>Total</b>
Total Residential GFA (sq. m):	26645.13		Parking Spaces:	273
Total Non-Residential GFA (sq. m):	0		Loading Docks	1
Total GFA (sq. m):	26645.13			
Lot Coverage Ratio (%):	46.19			
Floor Space Index:	3.9			

#### DWELLING UNITS

#### FLOOR AREA BREAKDOWN (upon project completion)

			Above Grade	Below Grade
Tenure Type:	Rental, Condo			
Rooms:	0	Residential GFA (sq. m):	26645.13	0
Bachelor:	18	Retail GFA (sq. m):	0	0
1 Bedroom:	136	Office GFA (sq. m):	0	0
2 Bedroom:	98	Industrial GFA (sq. m):	0	0
3 + Bedroom:	33	Institutional/Other GFA (sq. m):	0	0
Total Units:	285			

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**TELEPHONE:**      **(416) 395-7127**

