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1278 GRANVILLE STREET (COMPLETE APPLICATION)  
DE413501 - ZONE DD

DM/JMB/LH

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**APPLICANT:**  
Shean Lindberg  
1901 Properties Ltd.  
#215 - 1008 Homer Street  
Vancouver, BC  
V6B 2X1

**PROPERTY OWNER:**  
1901 Properties  
#215 - 1008 Homer Street  
Vancouver, BC  
V6B 2X1

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### EXECUTIVE SUMMARY

- **Proposal:** Interior Alterations, which includes the filling in of an open to below area (ground - 2nd floor) of approximately 1340 square feet and creating two more dwelling units, increasing the number of dwelling units from 88 to 90 in this existing mixed use building, thereby requesting an increase in the Floor Space Ratio using a Heritage Density Transfer.

See Appendix A Standard Conditions

Appendix B Standard Notes and Conditions of Development Permit

Appendix C Plans and Elevations

- **Issues:** No significant Issues.
- **Urban Design Panel:** This application was not reviewed by the Urban Design Panel.

### STAFF RECOMMENDATION: APPROVE

THAT the Board APPROVE the Heritage Density Transfer request contained in Development Application No. DE413501 as submitted, the plans and information forming a part thereof, thereby permitting interior alterations and to add approximately 1,340 square feet to the 2nd floor thereby increasing the number of dwelling units from 88 to 90 in this existing mixed-use building, using a Heritage density transfer from a donor site at 40 Powell Street, subject to the following conditions:

- 1.0 That the conditions set out in Appendix A be met prior to the issuance of the Development Permit.
  - 2.0 That the Notes to Applicant and Conditions of the Development Permit set out in Appendix B be approved by the Board.
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• **Technical Analysis:**

	PERMITTED (MAXIMUM)	EXISTING	PROPOSED
Site Size		125.0 ft. X 120.0 ft.	
Site Area		15,000 sq.ft.	
Floor Area	61,686.0 sq.ft.	Commercial 4,096.7 sq.ft. Residential 57,587.8 sq.ft. Total 61,684.5 sq.ft.	Commercial 4,096.7 sq.ft. Residential 58,927.8 sq.ft. Total 63,024.5 sq.ft.
FSR	4.11	Commercial 0.27 Residential 3.84 Total 4.11	Commercial 0.27 Residential 3.93 Total 4.20
Parking	Min. 60 Max. 111	Total 73	Total 73
Bicycle Parking	Cl. A 111 Cl. B 6 Total 117	Cl. A 107 Cl. B 0 Total 107	Cl. A 107 Cl. B 0 Total 107

<sup>1</sup> **Floor Area:** Under Section 3.14 of the DODP, an additional 10 percent Heritage Density Transfer (maximum 4.52 FSR or 67,855 sq. ft.) may be considered by the DP Board. See discussion on Page 5.

<sup>2</sup> **Bicycle Parking:** DE413876 (issued July 22, 2010) approved a reduction of the Class A bicycle parking from 110 spaces to 107 spaces to facilitate the construction of a garbage/recycling room. Staff have reviewed the proposal and are satisfied that the existing bicycle parking is sufficient.

• **Legal Description**

Lot: D  
Block: 103  
Plan: LMP 31303  
District Lot: 541

• **History of Application:**

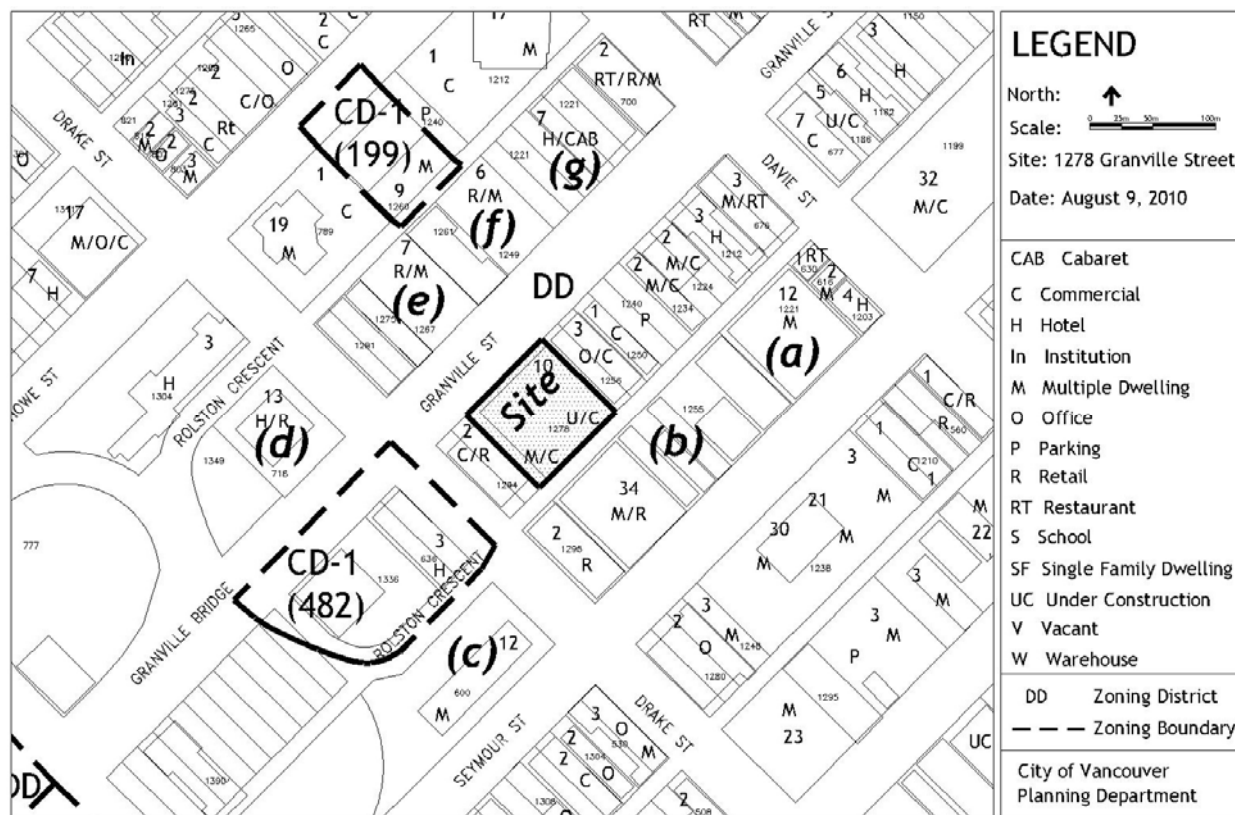
09 12 01 Complete DE submitted  
10 11 29 Development Permit Board Meeting

• **Site:** The site is located on the east side of the 1200 block of Granville Street, between Davie and Drake Streets, in the Downtown District, 'K3' sub area. The site has a frontage of 125 feet and a depth of 120 feet. The site has a four (4) foot slope across its depth, sloping down to the lane. The site is occupied by a 12 year old, 10 storey mixed use building with retail and health care office uses at grade and residential units above.

• **Context:** Granville Street has a context of low to mid rise buildings with continuous street frontage. There is a mix of older, original buildings and more recent construction similar in scale and character. The predominant architectural expression is brick cladding with punched windows. On adjacent blocks to the east and west of Granville Street are more recent, high rise buildings.

Significant adjacent development includes:

- (a) 1221 Seymour Street - "Seymour Place" - 14 storey affordable housing society
- (b) 1255 Seymour Street - "Elan" - 34 storey residential/commercial
- (c) 600 Drake Street - 12 storey residential
- (d) 718 Drake Street - "Best Western Hotel" - 13 storey hotel/restaurant
- (e) 1267 Granville Street - "Candela Place" - 7 storey retail/residential (social housing)
- (f) 1249 Granville Street - "The Lex" - 6 storey retail/residential (market rental)
- (g) 1221 Granville Street - "Ramada Inn and Suites" - 7 storey hotel/nightclub



• **Background:** The existing building on the subject site was originally permitted in 1997. A condition of the permit was to secure 2,300 square feet for a Social Service Centre for city use. This use was changed in 2002 to accommodate a drop in Medical Clinic (DP406830). The double height clerestory space above the ground floor retail was subsequently filled in and converted to residential units in approximately 2004. This work was undertaken without permit and increased the total floor area above the maximum of what was originally permitted. This application seeks to legitimize this existing nonconformity through the import of heritage density.

• **Applicable By-laws and Guidelines:**

1. Downtown South Goals and Policies
2. Downtown Official Development Plan
3. Granville Street (Downtown South) Guidelines
4. Central Area Plan

1. Downtown South Goals and Policies

General Goals and Policies:

- Develop new housing capacity for Vancouver in the form of high density, livable, safe and environmentally conscious community, providing transportation alternatives to the automobile, with the appropriate supportive services and amenities;
- Encourage a neighbourhood with social diversity where existing residents can remain, and with moderately priced housing within the means of average income.

Downtown Official Development Plan

Land Use:

- Commercial and Dwelling uses are permitted.

Density:

- The maximum density for all permitted uses shall be a floor space ratio of 3.50. An FSR of 4.11 was originally approved for this building including the community use space (now a drop in medical clinic.)
- The Development Permit Board may permit an increase in floor space ratio for any use where the increase results from a transfer of heritage floor space to a maximum of 10 percent over the total permitted floor space ratio.

Granville Street (Downtown South) Guidelines

Residential Livability

- High quality residential livability should be achieved for all new dwelling units with regard for privacy, overlook, open space, safety and security, light and ventilation, access and circulation.
- Development sites on Granville Street are severely affected by noise, especially from vehicular traffic and from uses which generate a lot of noise, such as bars and cabarets. Appropriate design and construction techniques, should be used to buffer residential units from noise.
- Residential developments near the Theater Row Entertainment District should meet any applicable noise requirements that have been adopted by Council for the area.

• **Response to Applicable By-laws and Guidelines:**

**Use:** The proposal to add two additional residential units, a one and two bedroom unit, meets the broader policy and guideline objectives for Downtown South, Granville Street sub area, in terms of providing residential use with viable retail at grade.

The proposed additional two residential units, is achieved by extending the existing second floor slab, and filling in an existing double height space above the ground floor retail space. Consequently the additional floor area does not add additional building volume to the overall massing. The retail space below is currently used as a rental car agency with a floor to floor height of 11 feet, considered acceptable for its size.

**Livability:** The residential ceiling height and window pattern has not changed from what was originally permitted and is consistent with the rest of the building. Each unit has good natural light and ventilation. The demising walls between units are aligned with the exterior brick columns and do not require any changes to the window size or shape. Standard Condition A.1.2 seeks confirmation that the new residential units achieve appropriate acoustic performance noting the Granville Street adjacency.

**Density:** The proposed density increase is well integrated within the existing building and does not add height or mass to the existing structure. The maximum allowable density for this part of Downtown South is 3.5 FSR, which in this building was increased to 4.11 FSR in the original Development Permit Application to provide a social service centre. This use was changed in 2002 to allow for a drop in medical clinic. This additional floor area is located at the rear of the building and does not add height or additional building mass as seen from the street. Similarly, the current application to add two additional residential units is achieved within the existing volumetric space. Consequently there are no changes to the existing exterior of the building.

**Architectural Expression:** The architectural expression remains as originally permitted. The windows for the two additional residential units are existing and of the same size and type found elsewhere on the building facade. The building itself is compatible with the traditional character for this part of Granville and is a good fit within the streetscape.

**ENGINEERING SERVICES**

The recommendations of Engineering Services are contained in the prior-to conditions noted in Appendix A attached to this report.

- **Conclusion:** The additional floor area is supported by staff on the following basis:
  - There are no changes to the existing building massing, height or expression;
  - It provides 2 additional residential units, modest in size and with some variety of unit configuration;
  - Livability standards have not been compromised;
  - Retail viability has not been negatively impacted; and
  - It provides the public benefit of absorbing additional heritage density.

On that basis, staff recommends approval of this application.

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B. Boons  
Chair, Development Permit Staff Committee

**A.1 Standard Conditions**

A.1.1 Provision of an updated Letter "A" and Letter "B" (sample copy attached) which includes confirmation from the owner of the "donor" site that the agreement has been finalized, and confirming the new "balance" of transferable density remaining on the donor site.

A.1.2 Demonstrate appropriate Acoustical performance is achieved for the newly constructed units;

**Note to Applicant:** An Acoustical Consultant's Report may be necessary to demonstrate that the new residential units achieve appropriate noise criteria, noting the location on Granville Street.

**A.2 Standard Engineering Conditions**

A2.1 Confirmation that the strata corporation has approved the alterations. A portion of the additional units is beyond the limits of Strata Lot 92, and encroach onto Limited Common Property. A subdivision application and special resolution of the strata corporation would be required to consolidate Limited Common Property into the strata lot/and or to create additional strata lots.

A2.2 Confirmation that the existing areaway has been decommissioned and that the charges (Easement & Indemnity Agreements 502616M & BK414063) have been released.

**B.1 Standard Notes to Applicant**

- B.1.1 The applicant is advised to note the comments of the Processing Centre-Building Department contained in this report. Further, confirmation that these comments have been acknowledged and understood, is required to be submitted in writing as part of the "prior-to" response.
- B.1.2 It should be noted that if condition 1.0 has not been complied with on or before **May 29, 2010**, this Development Application shall be deemed to be refused, unless the date for compliance is first extended by the Director of Planning.
- B.1.3 This approval is subject to any change in the Official Development Plan and the Zoning and Development Bylaw or other regulations affecting the development that occurs before the permit is issuable. No permit that contravenes the bylaw or regulations can be issued.
- B.1.4 Revised drawings will not be accepted unless they fulfill all conditions noted above. Further, written explanation describing point-by-point how conditions have been met, must accompany revised drawings. An appointment should be made with the Project Coordinator when the revised drawings are ready for submission.
- B.1.5 A new development application will be required for any significant changes other than those required by the above-noted conditions.

**B.2 Conditions of Development Permit:**

- B.2.1 All approved off-street vehicle parking, loading and unloading spaces, and bicycle parking spaces shall be provided in accordance with the relevant requirements of the Parking By-law prior to the issuance of any required occupancy permit or any use or occupancy of the proposed development not requiring an occupancy permit and thereafter permanently maintained in good condition.
- B.2.2 The issuance of this permit does not warrant compliance with the relevant provisions of the Provincial Health and Community Care and Assisted Living Acts. The owner is responsible for obtaining any approvals required under the Health Acts. For more information on required approvals and how to obtain these, please contact Vancouver Coastal Health at 604-675-3800 or visit their offices located on the 12<sup>th</sup> floor of 601 West Broadway. Should compliance with the health Acts necessitate changes to this permit and/or approved plans, the owner is responsible for obtaining approval for the changes prior to commencement of any work under this permit. Additional fees may be required to change the plans.
- B.2.3 **This site is affected by a Development Cost Levy By-law and levies will be required to be paid prior to issuance of Building Permits.**



# 1278 GRANVILLE STREET - PROPOSED 2ND FLOOR ADDITION

## PROJECT DATA

CIVIC ADDRESS  
1278 GRANVILLE STREET  
VANCOUVER, B.C.

LEGAL DESCRIPTION  
DISTRICT LOT 541, PLAN LMS4461

USE AND DENSITY  
FIRST FLOOR - RETAIL  
FLOORS 2 TO 10 - RESIDENTIAL

EXISTING ADDITION TOTAL  
4,820 SF 1339.5 SF 63,023.5 SF  
56,864 SF 58,203.5 SF

## UNIT TYPES

0 BEDROOMS 18 UNITS  
1 BEDROOMS 51 UNITS  
2 BEDROOMS 19 UNITS

1 UNIT 18 UNITS  
1 UNIT 20 UNITS

TOTAL DWELLING UNITS 88 UNITS 2 UNITS 90 UNITS

## PARKING

COMMERCIAL PARKING 12 CARS  
RESIDENTIAL PARKING 51 CARS  
VISITOR PARKING 7 CARS  
LANE LEVEL PARKING 10 CARS

TOTAL PARKING 80 CARS

## BICYCLE PARKING

CLASS A 120 STALLS

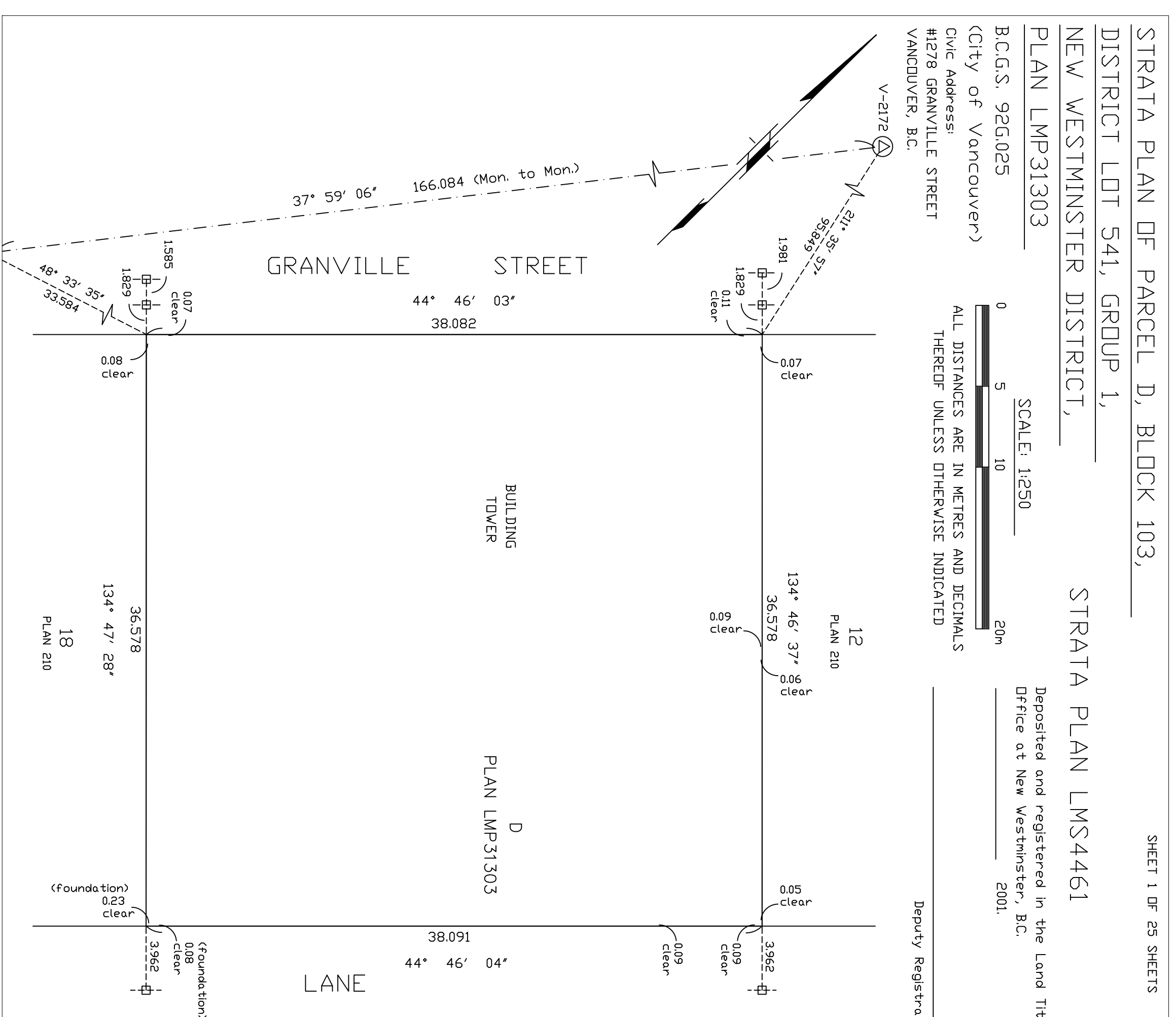
## ZONING DATA

SITE AREA  
14,995.0 SF (1393 SQ. M.)

ZONING  
DD (AREA K3)

FSR ALLOWED 3.50  
52,482.50 SF

## SITE PLAN - SCALE 1" = 20'



## DRAWING INDEX

- A0 TITLE SHEET
- A1 PROJECT DATA
- A2 SITE PLAN
- A3 P1 PARKING PLAN
- A4 P2 PARKING PLAN
- A5 LANE LEVEL PARKING PLAN
- A6 GROUND FLOOR PLAN
- A7 SECOND FLOOR PLAN
- A8 EXISTING LAYOUT
- A9 ADDITION LAYOUT
- A10 PARTIAL SECOND FLOOR PLAN
- A11 PROPOSED LAYOUT & SCHEDULE
- A12 THIRD FLOOR PLAN
- A13 FOURTH FLOOR PLAN
- A14 FIFTH FLOOR PLAN
- A15 SIXTH FLOOR PLAN
- A16 SEVENTH FLOOR PLAN
- A17 EIGHT FLOOR PLAN
- A18 NINTH FLOOR PLAN
- A19 TENTH FLOOR PLAN
- A20 ROOF PLAN
- A21 UPPER ROOF PLAN
- A22 WEST ELEVATION
- A23 EAST ELEVATION
- A24 SOUTH ELEVATION
- A25 NORTH ELEVATION
- A26 BUILDING SECTION A-A
- A27 BUILDING SECTION B-B

## ADDITIONAL FLOOR AREA (2ND FLOOR) CALCULATIONS

TOTAL AREA = GROSS - AREA DEDUCTIONS = 1,376.66 SF - 37.19 SF = 1,339.5 SF (124.44 SM)

### GROSS AREA

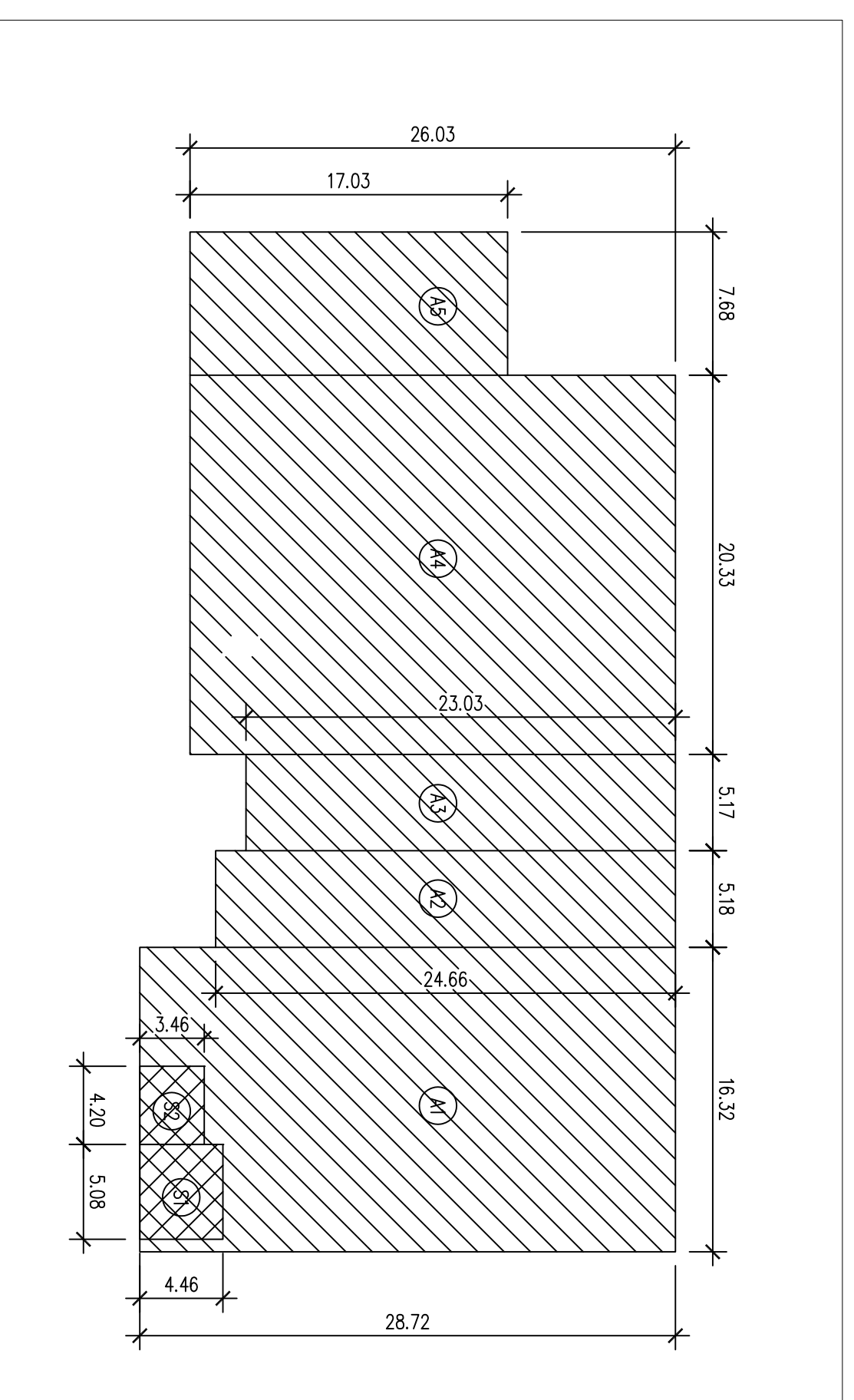
A1 = 16.36' X 28.72' = 469.96 SF  
A2 = 5.18' X 24.66' = 127.74 SF  
A3 = 5.17' X 23.03' = 119.07 SF  
A4 = 20.33' X 26.03' = 529.20 SF  
A5 = 7.68' X 17.03' = 130.79 SF

TOTAL = 1,376.66 SF (127.90 SM)

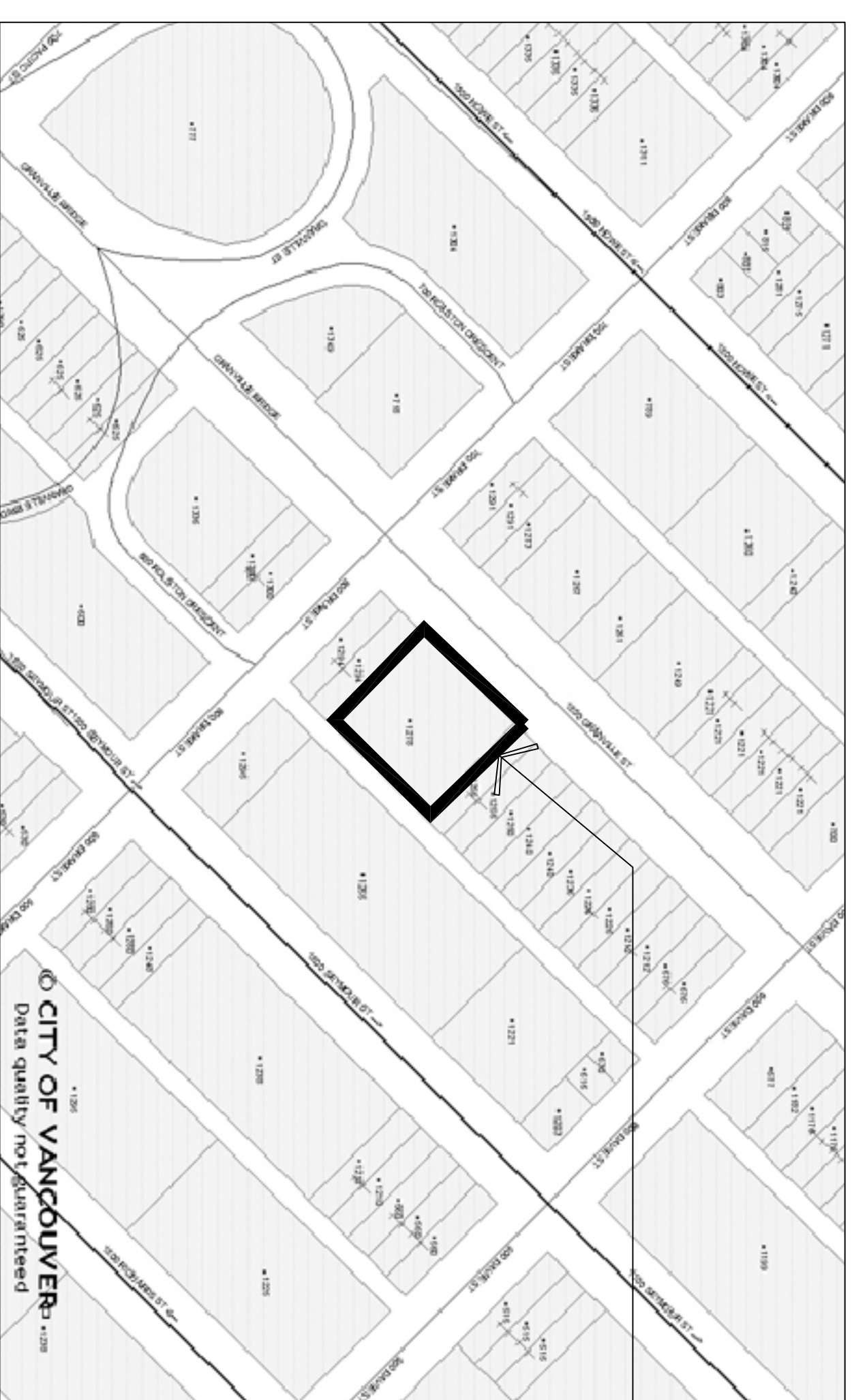
### AREA DEDUCTIONS

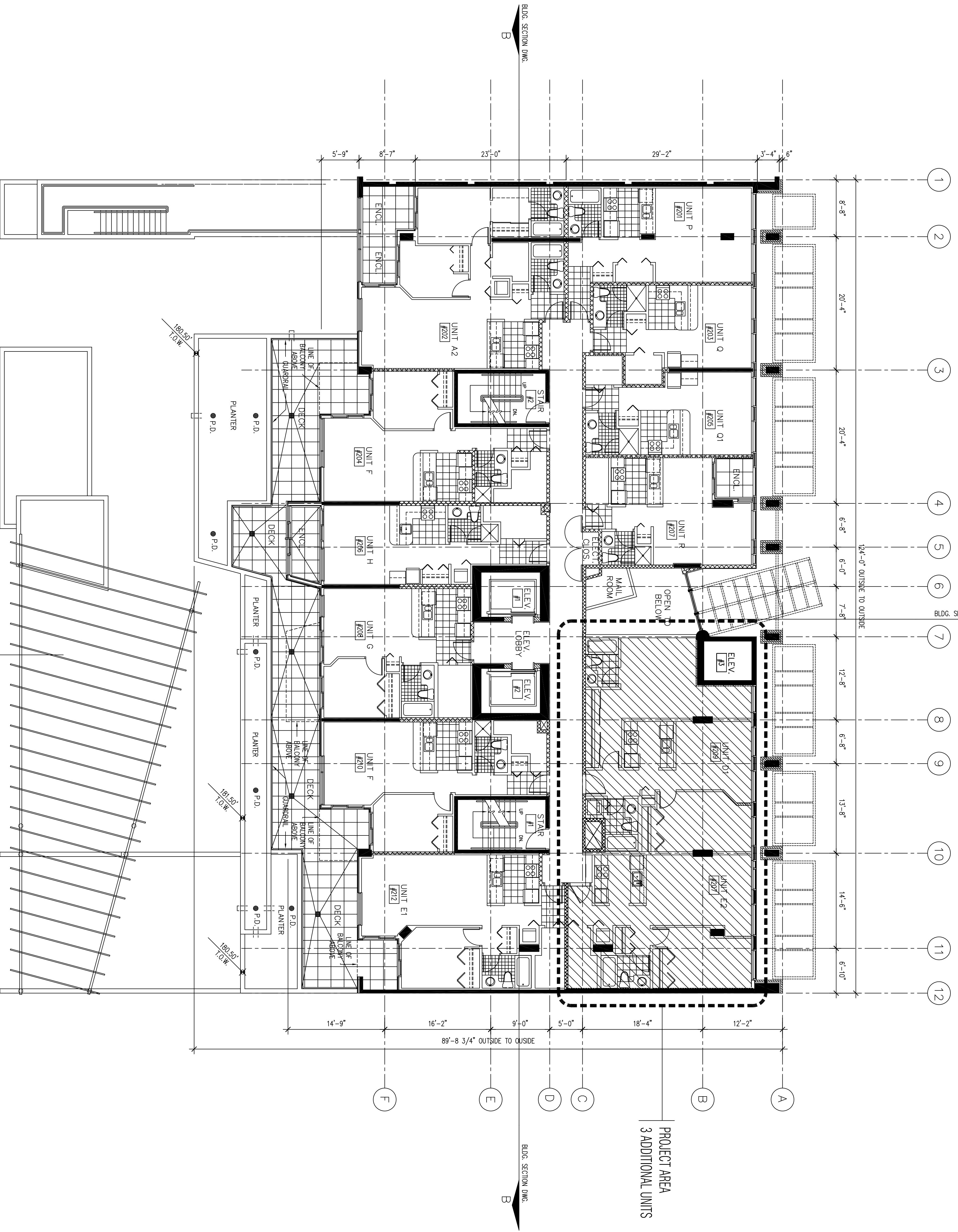
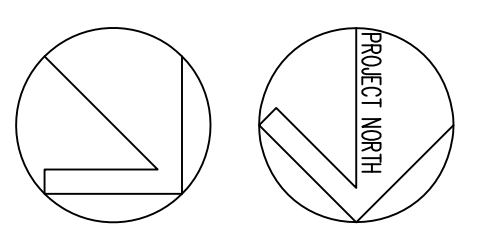
S1 = 5.08' X 4.46' = 22.86 SF  
S2 = 4.20' X 3.46' = 14.53 SF

TOTAL = 37.19 SF (3.49 SM)



## EXISTING BUILDING SITE





2ND FLOOR PLAN – PROPOSED  
 SCALE: 1/8"=1'-0"

project title:	Proposed 2nd Floor Addition 1278 Granville Street Vancouver, BC
drawing title:	Second floor Plan Addition Layout
no.:	23
date:	Nov 2009
description:	Reissued for DP
no.:	19
date:	Nov 2009
description:	Issued for DP
revisions:	
no.:	
date:	
description:	
no.:	
date:	
description:	
no.:	
date:	
description:	

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project no.:	09045
drawn by:	JW
checked by:	JW
date:	NOV 2009
scale:	AS NOTED
drawing no.:	

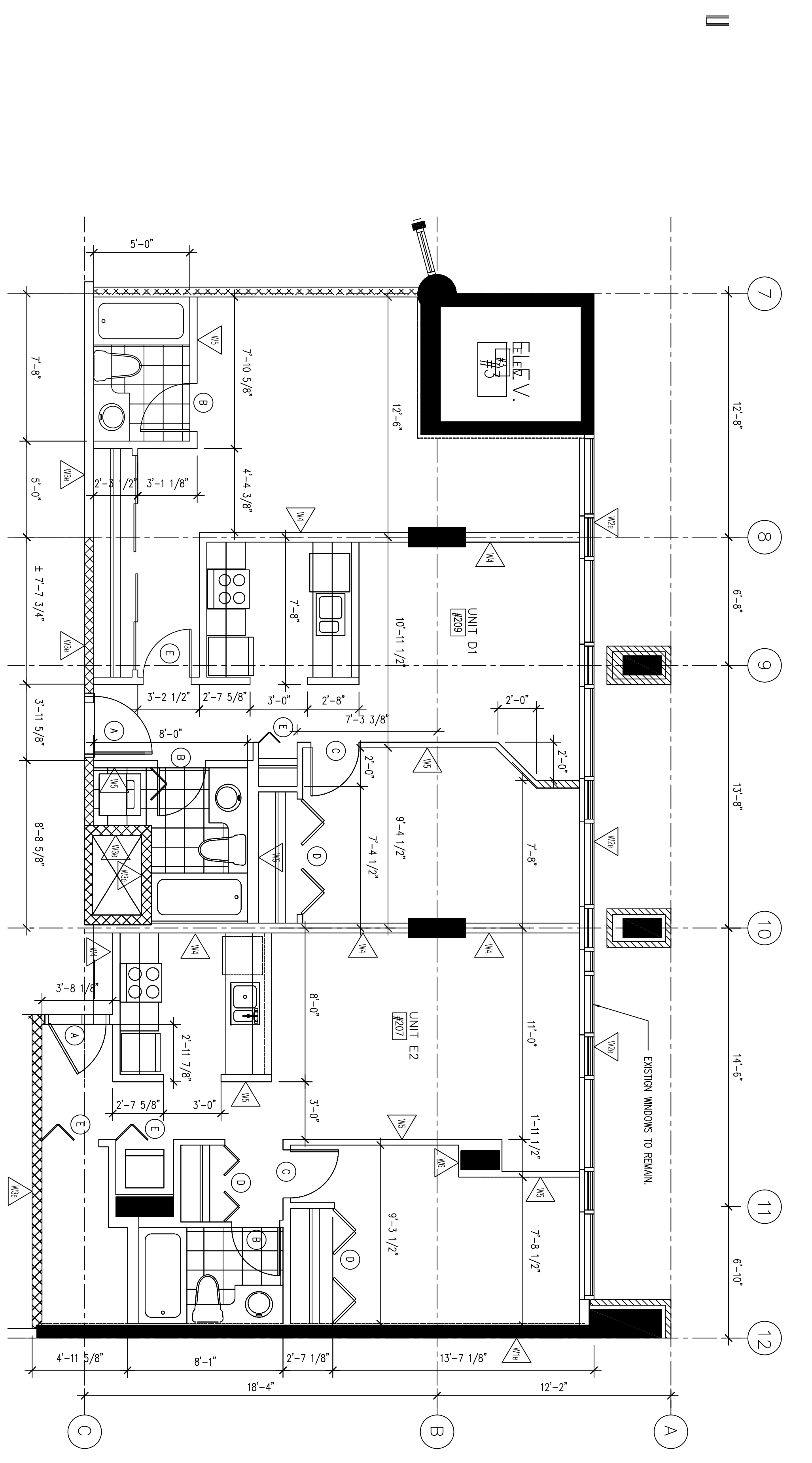
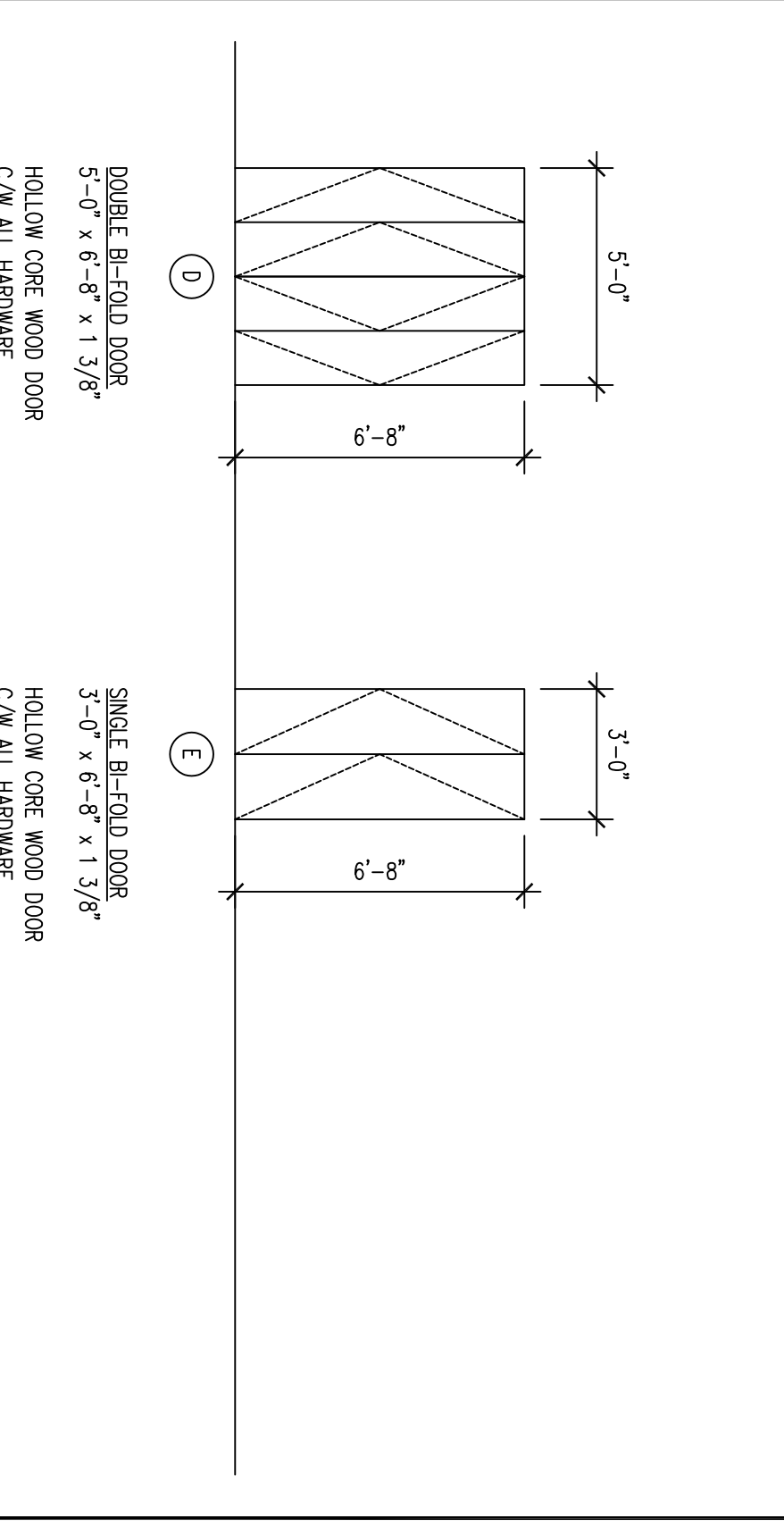
**A-51b**

WALL SCHEDULE

<p>EXISTING INSULATED CONCRETE WALL SIMILAR TO VEBR 2007 TABLE 910.31.4 NO. B10C 2 HR. FRR</p> <p>-REINFORCED CONCRETE OR CONCRETE BLOCK (EXISTING) -2 1/2" STEEL STUDS @ 16" O.C. -2 1/2" (R-03) FIBERGLASS RIGID INSULATION -6 MIL POLYETHYLENE VAPOUR BARRIER -1/2" GYPSUM WALLBOARD</p> <p>NOTE: PROVIDE STUD WALL AND INSULATION IF IT IS MISSING GYPSUM WALLBOARD AT BATHING AND SHOWER LOCATIONS TO BE WATER RESISTANT</p>	<p>EXISTING PERIMETER WALL ULC DESIGN NO. W424 2 HR. FRR</p> <p>-TYPE 'X' GYPSUM WALLBOARD -3 5/8" STEEL STUDS @ 16" O.C. -TYPE 'X' GYPSUM WALLBOARD</p> <p>NEW FLOOR 2 HR. FRR</p> <p>-CONCRETE TOPPING -CONCRETE DECK -2 HOUR SPRAY FIREPROOFING</p> <p>NOTES: PROVIDE SHOP DRAWINGS FOR FIRESTOPPING OF ALL SERVICE PENETRATIONS THROUGH RATED FLOOR AND WALL ASSEMBLIES; THIS INCLUDES ELECTRICAL PLUMBING, HVAC AND SPRINKLER SERVICE PENETRATIONS PROVIDE AND PARTY TESTING AND CERTIFICATION FOR REQUIRED 2HR SPRAY FIREPROOFING AT CONCRETE ASSEMBLY RETAIN STRUCTURAL ENGINEER FOR REVIEW AND SIGN-OFF CONCRETE STRUCTURAL ASSEMBLY; THIS INCLUDES WORK INVOLVED FOR PENETRATIONS THROUGH CONCRETE MADE AFTER ASSEMBLY INSTALLATIONS</p>
<p>UNIT PARTY WALL VEBR 2007 TABLE 910.31.4 NO. S8B 1 HR. FRR 5/8 S1C</p> <p>-2 LAYERS 5/8" TYPE 'X' GYPSUM WALLBOARD -25 GAUGE, 3 5/8" STEEL STUDS @ 16" O.C. -3 1/2" ACoustICAL INSULATION -2 LAYERS 5/8" TYPE 'X' GYPSUM WALLBOARD</p> <p>NOTE: STAGGER GYPSUM WALLBOARD JOINTS @ 24" O.C. EACH LAYER AND SIDE OF WALL GYPSUM WALLBOARD AT BATHING AND SHOWER LOCATIONS TO BE WATER RESISTANT TYPE 'X' CARRY BOTH LAYERS OF GYPSUM WALLBOARD CONTINUOUSLY BEHIND TUB</p>	<p>INTERIOR PARTITION -1/2" GYPSUM WALLBOARD -3 5/8" STEEL STUDS @ 16" O.C. -1/2" GYPSUM WALLBOARD</p> <p>NOTE: GYPSUM WALLBOARD AT BATHING AND SHOWER LOCATIONS TO BE WATER RESISTANT.</p> <p>INTERIOR FIRING -7/8" FIRING CHANNELS -1/2" GYPSUM WALLBOARD</p>

DOOR SCHEDULE

<p>UNIT ENTRY DOOR 3'-0" x 7'-0" x 1 3/4"</p> <p>INSULATED STEEL DOOR WOOD FRAME 3 BUTT HINGES PERIMETER WEATHERSTRIPPING LATCHSET DEADBOLT DOOR STOP DOOR KICKER PREMIERE FOR AUTOMATIC OPENER 20 MIN. U.L.C LABEL</p>	<p>INTERIOR BATHROOM DOOR 2'-10" x 6'-8" x 1 3/8"</p> <p>HOLLOW CORE WOOD DOOR WOOD FRAME 2 BUTT HINGES PRIVACY SET</p>	<p>INTERIOR DOOR 2'-6" x 6'-8" x 1 3/8"</p> <p>HOLLOW CORE WOOD DOOR WOOD FRAME 2 BUTT HINGES LATCHSET</p>
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PROPOSED DWELLINGS PLAN

SCALE: 1/4" = 1'-0"

project title:	Proposed 2nd Floor Addition 1278 Granville Street Vancouver, BC
drawing title:	Second Floor Proposed Dwelling Layout Schedules
project no.:	09045
drawn by:	JW
checked by:	JW
date:	NOV 2009
scale:	AS NOTED
drawing no.:	A-5C
no.:	13
date:	Nov 2009
description:	Reissued for DP
no.:	19
date:	Nov 2009
description:	Issued for DP
no.:	19
date:	Nov 2009
description:	Issued for DP