

**18, 22-28, & 32 Holmes Avenue, 19-23, 27-33 & 37 Olive Avenue
Zoning By-law Amendment Application
Preliminary Report**

Date:	June 11, 2007
To:	North York Community Council
From:	Director, Community Planning, North York District
Wards:	Ward No. 23 – Willowdale
Reference Number:	File No. 07 167612 NNY 23 OZ & 07 167587 NNY 23 OZ

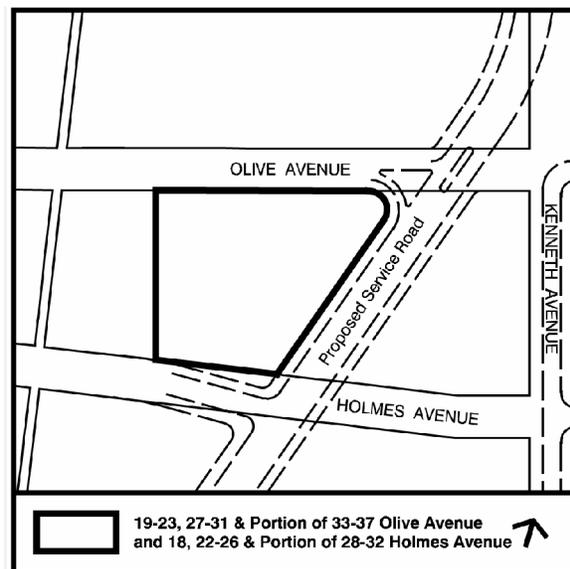
SUMMARY

This application was made after January 1, 2007 and is subject to the new provisions of the *Planning Act* and the *City of Toronto Act, 2006*.

This application proposes to amend Zoning By-law No. 7625 to construct a 28-storey, 308 unit residential building, two 2-storey townhouses and two 4-storey townhouse buildings containing 74 units at 18, 22-26, Holmes Avenue, 19-23, 27-31 Olive Avenue, a portion of 33 & 37 Olive Avenue and a portion of 28 and 32 Holmes Avenue.

This report provides preliminary information on the above-noted applications and seeks Community Council's directions on further processing of the applications and on the community consultation process.

It is intended that a community consultation meeting be scheduled by staff, in consultation with the Ward Councillor for early September 2007. A final report and



Public meeting under the Planning Act to consider this application is targeted for the first quarter of 2008, provided that any required information is submitted in a timely manner.

RECOMMENDATIONS

The City Planning Division recommends that:

1. staff be directed to schedule a community consultation meeting together with the Ward Councillor;
2. notice for the community consultation meeting be given to landowners and residents within 120 metres of the site; and
3. notice for the public meeting under the Planning Act be given according to the regulations under the Planning Act.

Financial Impact

The recommendations in this report have no financial impact.

PROPOSAL

The applicant is proposing a 28-storey (87 metres), 308 unit residential building, two 2-storey townhouses fronting onto the future Doris extension, and two 4-storey townhouse buildings containing 74 units fronting onto Olive Avenue. A total of 384 residential units and a gross floor area of 28,480 m² is contemplated. The proposed density is 3.8 times the area of the lot. The applicant is proposing to purchase from the City the surplus portion of 33 and 37 Olive Avenue and 28 and 33 Holmes Avenue, and is also requesting density incentives as permitted by the Secondary Plan.

The proposed residential tower has an oval floorplate and is a mirror image in terms of shape and height as the Monet tower located on Byng Avenue, directly diagonal to the site. The proposed townhouses define the edges Olive Avenue and the future Doris extension.

The 576 m² of indoor amenity space is proposed on the ground floor of the residential tower. The proposal includes a centrally located outdoor amenity space which is linked to a proposed publicly accessible open space at the corner of Olive Avenue and the Doris Avenue extension.

A total of 461 parking spaces will be provided, including 39 visitor spaces, all of which will be located in a below grade parking structure. Vehicular access is proposed from both Holmes Avenue and Olive Avenue. A drop off area is proposed in front of the residential tower at the south-west corner of the site. The applicant is also proposing a total of 389 below grade bicycle lockers as well as an at grade bicycle storage room. The site statistics are outlined on the Application Data Sheet (Attachment 7).

Site and Surrounding Area

The site is located on the south side of Olive Avenue Avenue, between Yonge Street and the future Doris extension. The site has a frontage of approximately 58.4m along Holmes Avenue, a depth of 80.9 m and an area of approximately 7454 m². To provide for a development site, the applicant has purchased 10 properties that contain single detached dwellings and is also proposing to purchase City-owned properties at 33 and 37 Olive Avenue and 28 and 32 Holmes Avenue, which are irregular remnant parcels left over from the lot assembly for the future Doris Avenue extension.

Land Uses surrounding the site are as follows:

North: two 17-storey residential buildings, Bell Transfer Station

East: the proposed Doris Avenue extension, single detached dwellings, Willowdale Christian Assembly

South: 28- storey residential tower, townhouses

West: Willowdale Baptist Church

Provincial Policy Statement and Provincial Plans

The Provincial Policy Statement (PPS) provides policy direction on matters of provincial interest related to land use planning and development. The PPS sets the policy foundation for regulating the development and use of land. The key objectives include: building strong communities; wise use and management of resources; and, protecting public health and safety. City Council's planning decisions are required to be consistent with the PPS. Staff will review the proposed development for consistency with the PPS.

Official Plan

The site is within the North York Centre North boundary of the North York Centre Secondary Plan and has a split designation. The western portion of the site is designated Mixed Use Area "G", which allows residential, institutional and recreational uses, and commercial uses up to a maximum 20% of the permitted gross floor area. The eastern portion of the site is designated Mixed Use Area "H". This designation permits residential uses, institutional uses that are not predominantly offices, as well as public parks and recreational uses. The Secondary Plan permits a density of 3.75 on the properties at 18, 21 and 23 Olive Avenue and 18, 22 and 24 Holmes Avenue. There is a permitted density of 2.6 for the properties at 27 - 33 Olive Avenue and 26 Holmes Avenue. There is no density associated with the properties at 28 and 32 Holmes Avenue, as this density has been transferred to the properties to the south.

The Secondary Plan also provides density incentives and transfers for certain gross floor area exemptions for the provision of specific uses and facilities, with the to total density not to exceed 33% of the maximum gross floor area otherwise permitted. The permitted transfers and incentives include among others the provision of indoor amenity space and a cash contribution towards the costs of purchasing lands for the service road or the construction of a community centre.

The height limit for the majority of the site is 87 metres, with a small portion of the north-east site corner of the site having a height limit of 70% horizontal distance from the relevant residential property line at the north-east corner of the site.

The North York Centre Secondary Plan also contains a range of additional policies which the proposal will be evaluated against, including matters of built form, urban design, transportation, parks and open spaces, as well as other matters.

Zoning

The majority of the lands are zoned One Family Detached Dwelling Fourth Density Zone (R4), as indicated in Attachment 6. The R4 zoning permits one-family detached dwellings and accessory buildings as well as various recreational and institutional uses.

The lands at 28 Holmes are zoned R4(66) and the property at 32 Holmes is zoned R4(77). These are City owned lands were acquired for the construction of the service roads and the density has since been transferred.

Site Plan Control

An application has been submitted for Site Plan Control Approval and will be reviewed concurrently with the Zoning Amendment Application.

Tree Preservation

The application is subject to the City of Toronto Private Tree By-law and a tree inventory drawing and arborist report have been submitted.

Reasons for the Application

An amendment to Zoning By-law 7625 is required to implement appropriate built form and other development standards in conformity with the North York Centre Secondary Plan policies.

COMMENTS

Issues to be Resolved

Staff will be encouraging the applicant to review sustainable development opportunities by utilizing the Toronto Green Development Standard, adopted by City Council in July 2006.

On a preliminary basis, the following issues have been identified:

1. Development standards, landscaping, building siting and massing will be reviewed against the built form policies in the North York Centre Secondary Plan, the Tall Building Guidelines and the Infill Townhouse Guidelines to ensure the proposed development is well designed and compatible with the surrounding neighbourhood;
2. The review and approval of a traffic certification for the project.

3. Issues related to the protection and retention of privately owned trees located on and around the site;
4. The visual impact of the existing overhead wires along Olive Avenue; and
5. The provision of a public art program.

Additional issues may be identified through the review of the application, agency comments and the community consultation process.

CONTACT

Kelly Jones, Planner
Tel. No. 416-395-7127
Fax No. 416-395-7155
E-mail: kjones2@toronto.ca

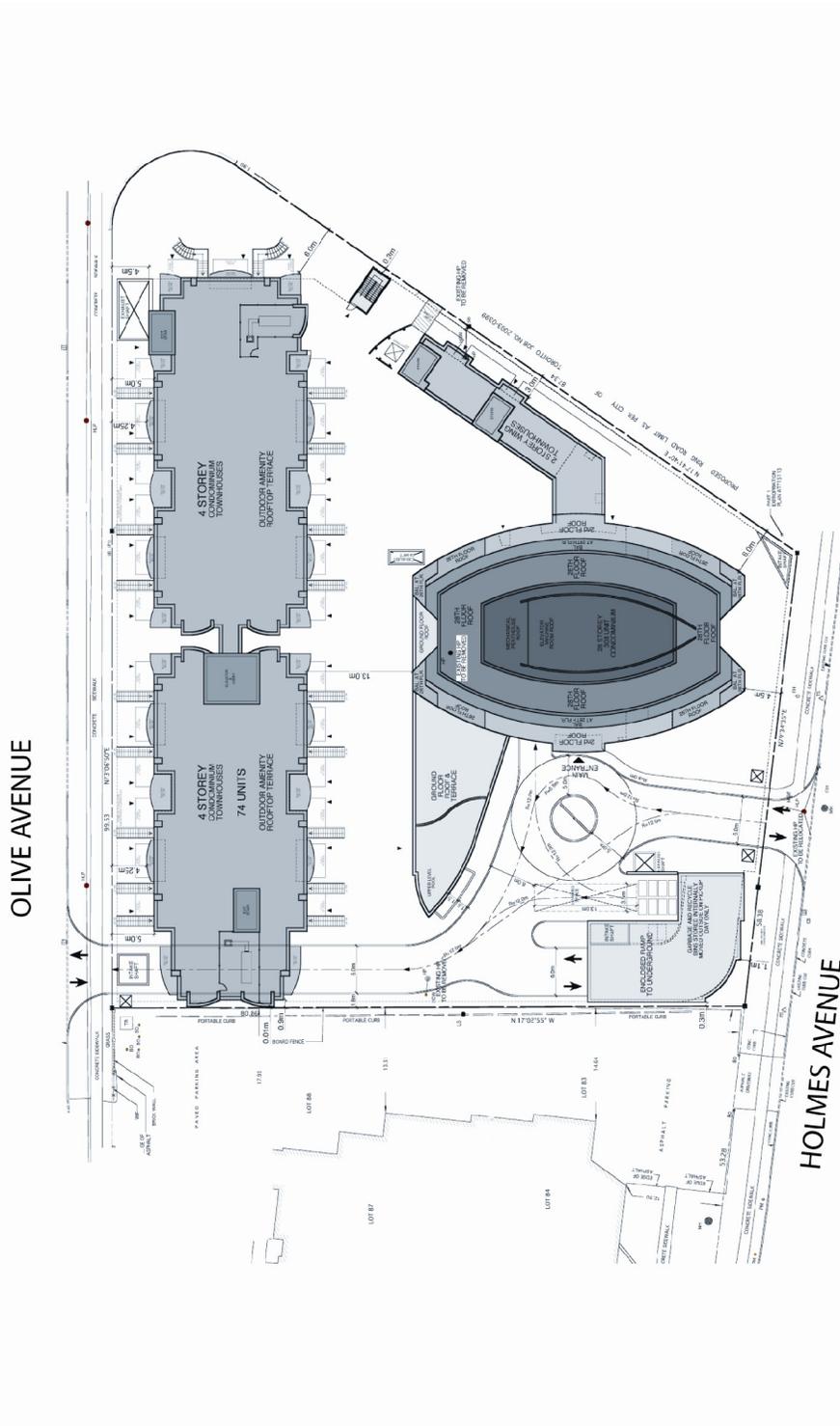
SIGNATURE

Thomas C. Keefe, Director
Community Planning, North York District

ATTACHMENTS

Attachment 1: Site Plan
Attachment 2: Elevations
Attachment 3: Elevations
Attachment 4: Elevations
Attachment 5: Cross Section
Attachment 6: Zoning
Attachment 7: Application Data Sheet

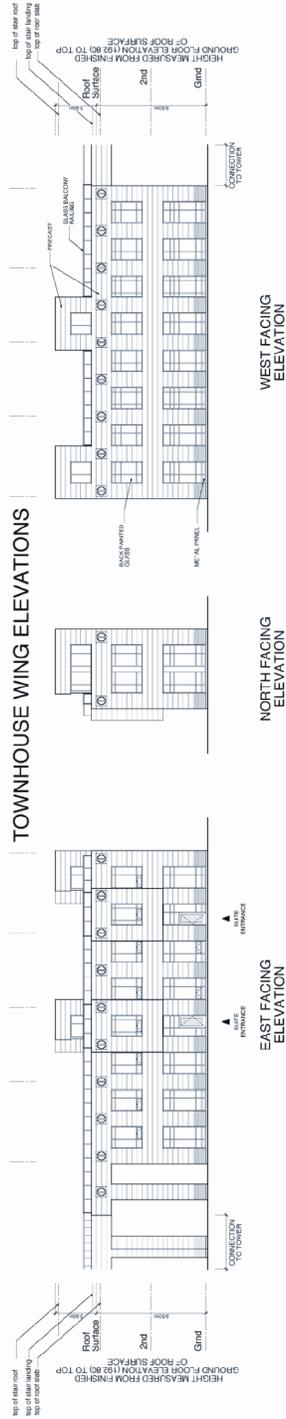
Attachment 1: Site Plan



Site Plan
 Applicant's Submitted Drawing
 Not to Scale
 05/30/07

19,21,23,27,29,31,33,37 Olive Avenue
18,22,24,26,28,32 Holmes Avenue
 File # 07_167612

Attachment 2: Elevations



Townhouse Wing Elevations

Elevations

Applicant's Submitted Drawing

Not to Scale
05/31/07

**19,21,23,27,29,31,33,37 Olive Ave.
18,22,24,26,28,32 Holmes Ave.**

File # 07_167612

Attachment 3: Elevations



North & South Elevations

**19,21,23,27,29,31,33,37 Olive Ave.
18,22,24,26,28,32 Holmes Ave.**

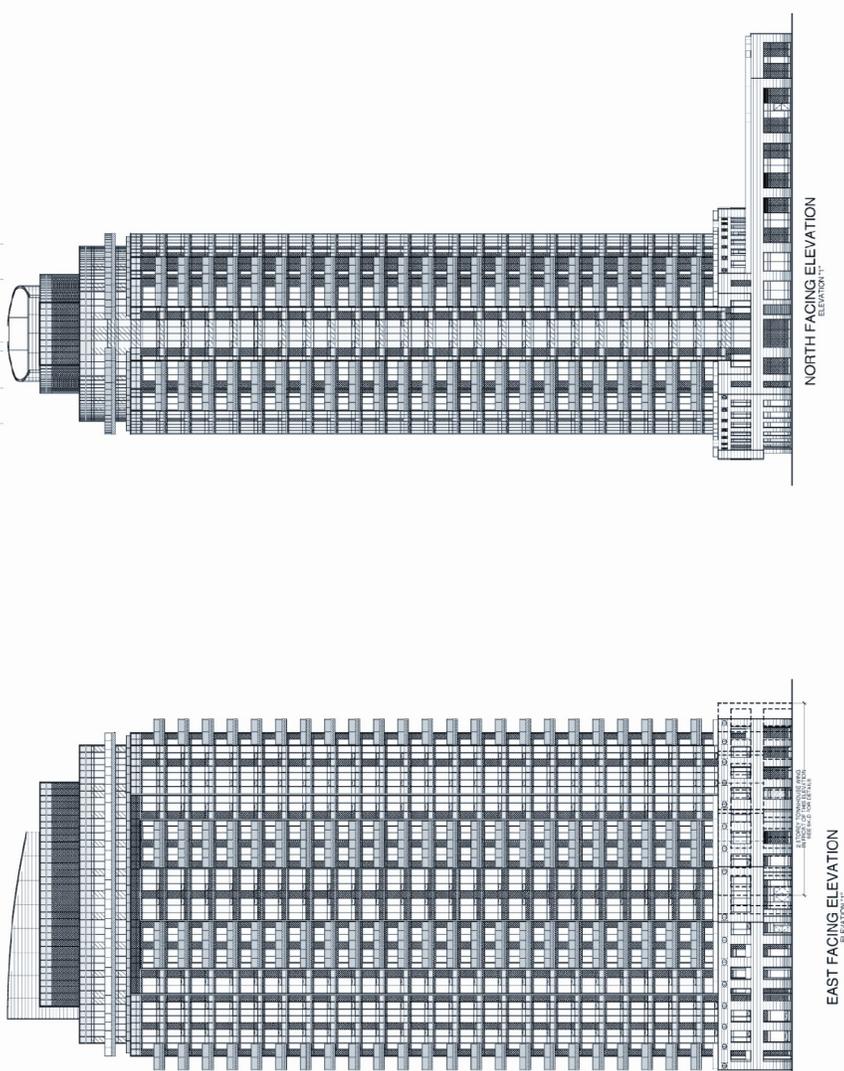
File # 07_167612

Elevations

Applicant's Submitted Drawing

Not to Scale
05/31/07

Attachment 4: Elevations



The image displays two architectural elevation drawings of a multi-story building. The left drawing is labeled 'EAST FACING ELEVATION' and shows a grid of windows with a curved roofline on the left side. The right drawing is labeled 'NORTH FACING ELEVATION' and shows a similar grid of windows with a flat roofline. Both drawings include a scale bar at the bottom right of the drawing area.

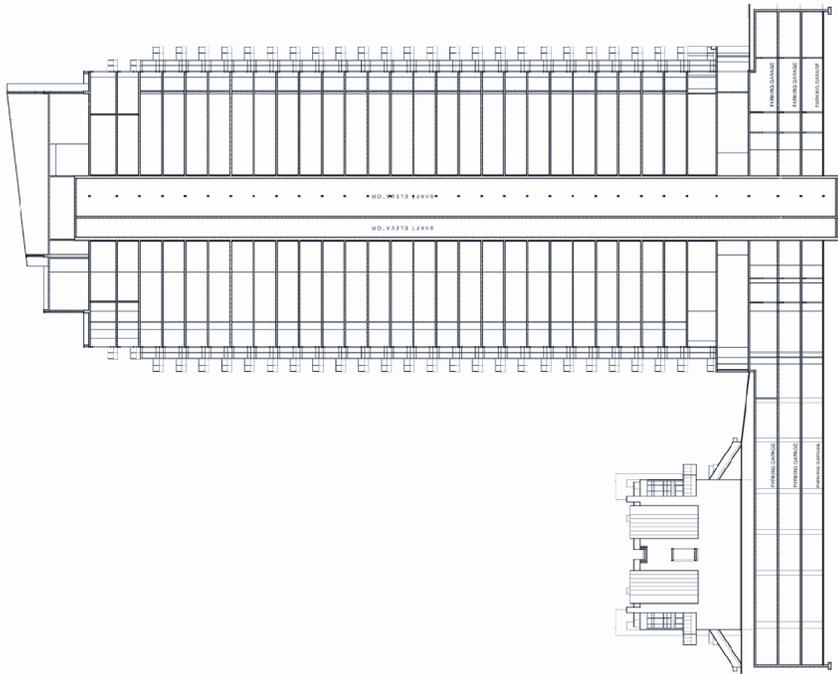
Elevations
Applicant's Submitted Drawing
Not to Scale
05/31/07

East & North Facing Elevations

**19,21,23,27,29,31,33,37 Olive Ave.
18,22,24,26,28,32 Holmes Ave.**

File # 07_167612

Attachment 5: Cross Section



Cross Section

**19,21,23,27,29,31,33,37 Olive Ave.
18,22,24,26,28,32 Holmes Ave.**

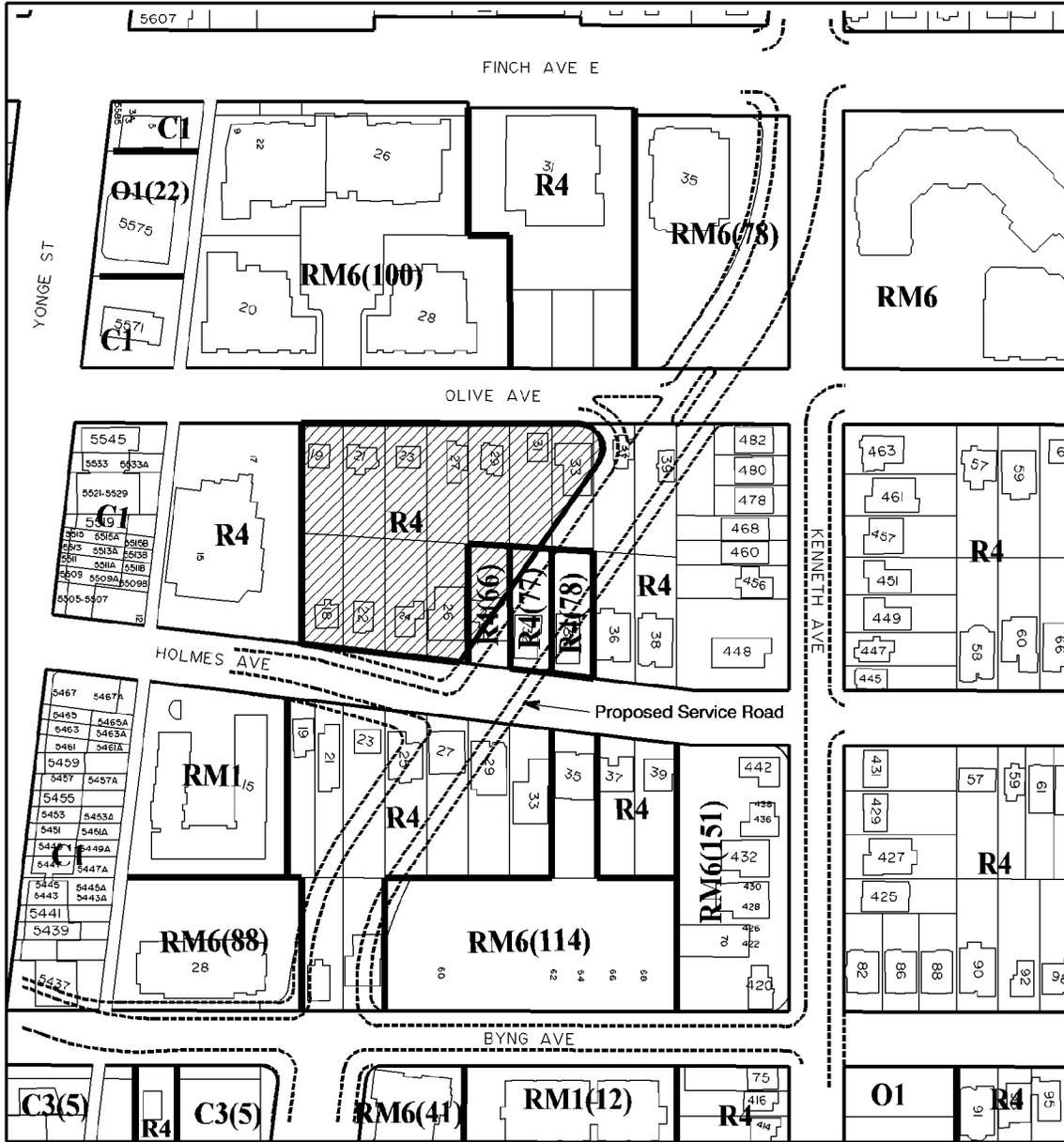
File # 07_167612

Elevations

Applicant's Submitted Drawing

Not to Scale
05/31/07

Attachment 6: Zoning



**19-23, 27-31 & Portion of 33-37 Olive Avenue
and 18, 22-26 & Portion of 28-32 Holmes Avenue**

File # 07_167612

- R4 One-Family Detached Dwelling Fourth Density Zone
- RM1 Multiple-Family Dwellings First Density Zone
- RM6 Multiple-Family Dwellings Sixth Density Zone
- C1 General Commercial Zone
- O1 Open Space Zone

C3 District Shopping Centre Zone



Not to Scale
Zoning By-law 7625
Extracted 06/05/07

Attachment 7: Application Data Sheet

APPLICATION DATA SHEET

Application Type Rezoning Application Number: 07 167612 NNY 23 OZ
 Details Rezoning, Standard Application Date: April 23, 2007

Municipal Address: 18 HOLMES AVE, TORONTO ON M2N 4L9
 Location Description: PLAN 2282 LOT 82 **GRID N2303
 Project Description:

Applicant: **Agent:** **Architect:** **Owner:**
 GREAT LAND (OLIVE) GREAT LAND (OLIVE)
 INC INC

PLANNING CONTROLS

Official Plan Designation: MUA Site Specific Provision:
 Zoning: R4 Historical Status:
 Height Limit (m): Site Plan Control Area: Y

PROJECT INFORMATION

Site Area (sq. m):	7453.8	Height:	Storeys:	28
Frontage (m):	58.38		Metres:	87
Depth (m):	80.86			
Total Ground Floor Area (sq. m):	3689.6			Total
Total Residential GFA (sq. m):	28046		Parking Spaces:	461
Total Non-Residential GFA (sq. m):	0		Loading Docks	1
Total GFA (sq. m):	28046			
Lot Coverage Ratio (%):	49.5			
Floor Space Index:	3.76			

DWELLING UNITS

FLOOR AREA BREAKDOWN (upon project completion)

		Above Grade	Below Grade
Tenure Type:	Condo		
Rooms:	0	Residential GFA (sq. m):	0
Bachelor:	2	Retail GFA (sq. m):	0
1 Bedroom:	285	Office GFA (sq. m):	0
2 Bedroom:	97	Industrial GFA (sq. m):	0
3 + Bedroom:	0	Institutional/Other GFA (sq. m):	0
Total Units:	384		

CONTACT: PLANNER NAME: Kelly Jones, Planner
TELEPHONE: (416) 395-7127

Staff report for action – Preliminary Report -18, 22-28, & 32 Holmes Avenue, 19-23, 27-33 & 37 Olive Avenue

